



Park Place

Local Historic District Local Designation Report

LEXINGTON • DAVIDSON COUNTY
NORTH CAROLINA



Prepared for:

City Of Lexington

BUSINESS AND COMMUNITY DEVELOPMENT DEPARTMENT

31 West First Street • Lexington, NC 27292

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3334 NOTTINGHAM ROAD • WINSTON-SALEM, NC 27104 • APRIL 2013

Photographs on cover and in report taken by Heather Fearnbach in 2013

Cover, top row, left to right:

201 West Second Avenue, 141 West First Avenue, 139 West First Avenue

Bottom row, left to right:

305 West Second Avenue, 210 Williams Street, 203 West Second Avenue

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*All maps created by Ken Gallimore, GIS/Engineering, Public Works Department, City of Lexington.

PARK PLACE LOCAL HISTORIC DISTRICT, LEXINGTON

INTRODUCTION

In March 2013, the City of Lexington engaged Fearnbach History Services, Inc. to pursue designation of the Park Place Local Historic District. Architectural historian Heather Fearnbach coordinated the project and served as principal investigator, conducting the fieldwork, creating a database, and writing the local designation report. She comprehensively photographed each primary resource as well as secondary features including outbuildings, fences, and retaining walls within the proposed district boundaries. Ms. Fearnbach also documented adjacent parcels to augment the boundary justification. She electronically labeled the resulting 780 images according to North Carolina State Historic Preservation Office (HPO) standards and submitted them to the City of Lexington and the HPO in digital form. The updated photography provides a visual record of the district's appearance at the time of local designation and will allow the Lexington Historic Preservation Commission (HPC) members and staff to monitor changes to the resources over time.

At the request of City staff, Ms. Fearnbach evaluated the proposed district boundaries and adjusted them slightly to encompass the most cohesive group of similar historic buildings erected during the district's period of significance, circa 1854 to 1957. These resources, primarily located within three early-twentieth-century plats, form an entity that is clearly distinguishable from its surroundings.

The survey update process required the creation of a database enumerating the properties within the local district in a format specified by the HPO. The database forms contain property identification and historical background information as well as narrative descriptions of each resource based upon the 2007 Lexington Residential Historic District National Register nomination and expanded with additional observations and to reflect the district's physical evolution since the 2005 survey. As the National Register nomination only delineates the most significant historic outbuildings and landscape features, the principal investigator added many structures, fences, retaining walls, and other resources to the database and inventory list. The scope of work did not include additional historical background research. The database supplies a mechanism to quantify and analyze information regarding the Park Place Local Historic District resource distribution in a manner that was previously impossible.



300 West Second Avenue, looking northwest

STATEMENT OF SIGNIFICANCE

The Park Place Local Historic District in Lexington meets National Register of Historic Places Criterion C for Architecture and Criterion A for Community Planning and Development. The period of significance begins circa 1854 when Hillside, the district's only nineteenth-century dwelling, was constructed, and extends to 1957, which is the end of the 2007 Lexington Residential Historic District's period of significance for National Register purposes. In 2007, the 1957 cut-off date encompassed all resources that were at least fifty years old. This date has also been utilized for the Park Place Local Historic District, which clearly manifests Lexington's periods of growth and development from the early- to the mid-twentieth century and has experienced little change since that time.

The Park Place Local Historic District contains a cohesive collection of Lexington's most intact dwellings executed in a wide range of nationally popular architectural forms and styles, ranging from modest one-story Queen Anne cottages and bungalows to commodious two-story Colonial, Tudor, and Mediterranean Revival dwellings. Contractors erected approximately sixty percent of the district's 146 primary resources during the 1920s. Many homes were speculatively constructed, but architects including William Roy Wallace and Joseph T. Levesque of Winston-Salem designed stylish houses for Lexington residents. Developers built multi-family units including the Parkview Apartments on West Third Avenue, completed in 1927 and 1930. The Great Depression's economic ramifications squelched 1930s construction, but the building booms following World War II and the Korean War added twenty-nine houses to the area by 1957. These residences reflected national building trends, transitioning in style to Minimal Traditional and Ranch houses during the 1940s.



201-203 West Second Avenue

The Park Place Local Historic District also exemplifies Criterion A in the area of Community Planning and Development. The district comprises areas developed as Lexington's population expanded rapidly in the twentieth century's first decades, epitomizing the suburban experience in towns and cities across the country during that period. Lexington's earlier residential neighborhoods evolved organically near major transportation corridors and in close proximity to commercial and industrial concerns. Most of

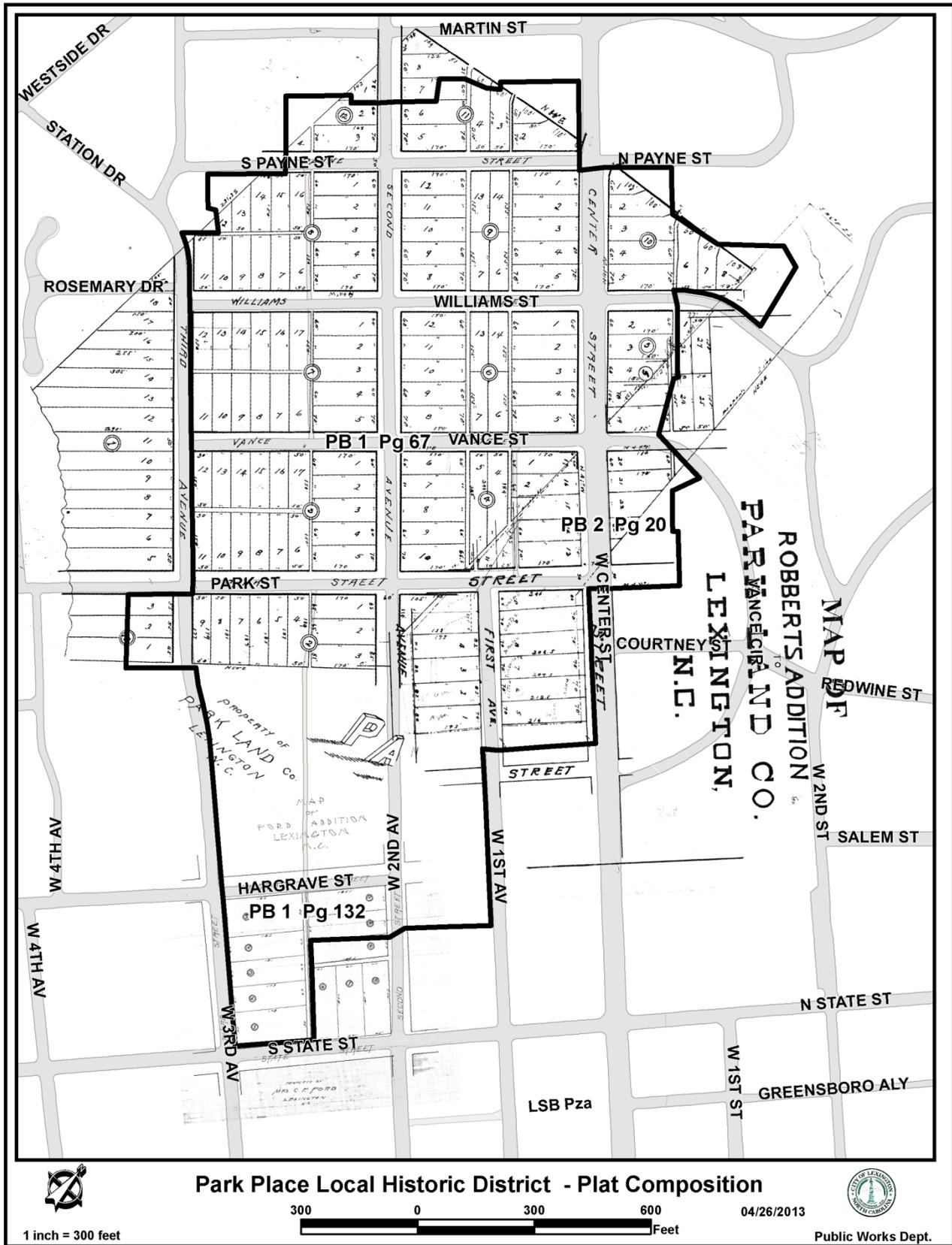
the streets and avenues follow an irregular grid pattern. Park Place's creation represented a concerted effort to develop what was then called Lexington's "West Ward" utilizing a precise grid plan that supplemented street and driveway access with rear alleys that still serve many properties. The boundaries encompass portions of three historic plats: Park Place, developed by the Park Land Company in 1909; the 1912 Ford Addition, an adjacent block containing lots sold by Mrs. C. E. Ford; and the 1917 Robberts Addition to Park Land Company, which slightly modified the 1909 Park Place plat. Williams Circle north of Center Street leads into the curvilinear Hillcrest neighborhood, a 1920 addition to Park Land Company.¹



404-406 West Center Street

The boundaries of the Park Place Local Historic District are drawn to include the greatest concentration of contributing resources in a predominately residential area shaped by three historic plats. Modern or altered historic residential, commercial, recreational, and institutional construction distinguishes the Park Place Local Historic District from its surroundings. The following map, which illustrates the plats overlaid with the district boundaries, has been rotated from a true north compass orientation in order to maximize space.

¹ N. R. Kinney, "Map of Lexington, N. C.," *1916-1917 Lexington City Directory* (Florence, SC: Charles S. Gardiner Directory Publishers, 1917); Davidson County Plat Book 1, pp. 67 and 132; Plat Book 2, pp. 20 and 57.



Park Place Local Historic District - Plat Composition

1 inch = 300 feet



04/26/2013



Public Works Dept.

NARRATIVE DESCRIPTION

The following description is adapted from the Lexington Residential Historic District National Register nomination prepared by Heather Fearnbach in 2007.

Lexington's orientation does not follow true north/south compass directions, but street names reflect that most numbered streets and avenues run roughly east/west and named streets and drives north/south. The district is roughly bounded by State Street on the southeast, West Third Street on the southwest, the rear lot lines of properties on South Payne Street's northwest side, and West Center Street, but also encompasses some resources on West Center Street's northeast side. The southeastern boundary is particularly irregular in order to exclude modern construction, altered historic resources, and parking lots on State and West Center Streets. These thoroughfares serve as two of Lexington's primary traffic arteries and have thus experienced the most historic resource loss.



218-214 Williams Street

The majority of the Park Place Historic District is devoted to single-family residential use interspersed with some recent and historic multi-family housing. Commercial and municipal development has encroached on the edges and along the main traffic corridors, and some residences, particularly on West Center Street, have been converted into offices. Development in the district is fairly dense, although all houses have front and back yards and narrow side yards. Setback from the public right-of-way and spatial arrangements vary. Stylish two-story residences on West First, Second, and Third Avenues are situated on large lots with deep setbacks. On Park, Vance, Williams, and Payne Streets, bungalows built in the 1920s are positioned near the street and close to one another resulting in a harmonious rhythm of form, massing, and materials.

Most houses are frame and one or two stories in height. Weatherboard and other types of wood, brick and synthetic siding are typical exterior sheathing materials, although a few dwellings are executed in stone veneer. Apartment buildings and duplexes stand among the single-family homes and detached garages, sheds, and apartments accompany some dwellings. Garages are usually one-story, front-gable, frame buildings, but some brick apartments and garages built to complement residences are found behind or to the side of their principal resources.



129-151 West Center Street

In some sections of the district, such as the northwest portions of West Third Avenue and West Center Street where dwellings stand near the right-of-way, brick and concrete retaining walls bordering the sidewalk create a more distinct separation of space between house lots and the street. Elsewhere, expansive front lawns such as those on West Second Avenue create buffers between public spaces and private homes. The district's commercial and office buildings replaced residences and thus retain a similar setback from the sidewalk. Mature deciduous and evergreen trees shade most properties and foundation and ornamental plantings are prevalent. Concrete sidewalks serve the residential area and connect it to downtown.

ARCHITECTURE CONTEXT

The following context, adapted from the Lexington Residential Historic District National Register nomination prepared by Heather Fearnbach in 2007, includes additional analysis of Park Place resources.

The dwellings, outbuildings, and commercial structures in the Park Place Local Historic District represent the architectural styles and forms that were common in Lexington and throughout North Carolina from the early twentieth century through the post-World War II era. During this period, architecture reflected the social and economic changes occurring as Lexington transformed from a rural county seat to a bustling industrial town. As the population of Lexington grew, landowners near downtown took advantage of the opportunity to profit from the subdivision of their large parcels of land into smaller residential lots. This push outward from the center of town translated into the construction of houses on streets only one or two blocks beyond main arteries and commercial areas. During the twentieth century's first decades, it was common for bank presidents and prosperous merchants to reside only one street away from store clerks and carpenters. While professionals and workers continued to live in relative close proximity to their work places and each other, the differences in the two groups' income and social standing were made clear by the size of their houses and the lots they occupied.

Hillside, a Greek Revival house constructed at the terminus of West First Avenue in 1854, contains the district's earliest building fabric. However, the residence was cut in half, moved, and substantially remodeled in 1919. The dwelling at 139 West First Avenue is the only surviving section; the other half faced West Second Avenue and has been demolished. Hillside retains a Greek Revival-style entrance surround and sidelights, but an imposing, full-height, pedimented portico with Doric columns and bracketed eaves; a wraparound porch with bracketed eaves and slender Doric columns; and a

second floor balcony with turned balustrade give the house a decidedly twentieth-century, Neoclassical Revival appearance.



Hillside, 1854, 1919, 139 West First Avenue

The next oldest residences in the Park Place Historic District date to the early twentieth century and display mass-produced millwork brackets, friezes, porch posts, balusters, and decorative wood shingles. The circa 1910 gable-on-hip-roofed Queen Anne cottages at 403 and 405 West Second Street have replacement windows but retain their overall form and wood-shingled gables. The district's most elaborate two-story dwelling characterized by Queen Anne-style asymmetrical massing is 133 West First Avenue, built around 1900. The weatherboarded hip-roofed residence features projecting gabled bays with cut-away corners and a wraparound porch with single and grouped Ionic columns spanned by a wood railing and a pediment over the porch entrance.



House, ca. 1900, 133 West First Avenue

As the twentieth century progressed, national trends in architecture began to exert a greater influence on the design of houses in the Park Place Local Historic District. Gustav Stickley, an American stonemason, furniture maker, and metalworker, visited England in 1898, and, upon his return home, promoted the tenants of the English Arts and Crafts movement, a reaction against the loss of manual skills and traditional crafts due to the mechanization of the Industrial Revolution, through his magazine, *The Craftsman* (1901-1916). The publication emphasized the use of natural, handcrafted materials and low, horizontal massing to allow for harmony between a house and its surrounding environment. Henry H. Saylor's 1911 book, *Bungalows*, guided the consumer through the process of planning, designing, and building informal, cozy homes. Building plans for these dwellings, featuring wide overhanging eaves, inviting porches, and open floor plans, appeared in national magazines such as *House Beautiful* and *The Ladies Home Journal*. Stickley, Radford, Sears, Montgomery Ward, Aladdin, and others sold bungalow plans by mail.² Such promotion resulted in the bungalow's national popularity during the late 1910s and 1920s and the construction of scaled-down versions of the style throughout North Carolina into the early 1940s. The bungalow, typically inexpensive and easy to build, also appealed to consumers' desire for modern, efficient residences.



William P. and Laura Leonard House, circa 1920, 316 West Third Avenue

Bungalows and Craftsman-influenced dwellings are widespread in the district, representing approximately forty-three percent of the building stock. Some, such as the circa 1920 William P. and Laura Leonard House at 316 West Third Avenue, are fully-articulated examples of the style. The one-story frame bungalow is characterized by a gabled front porch supported by square posts on brick piers, wood shingle siding, stepped false beams, and exposed rafter ends. The N. Earl and Daphne Rose House, constructed around 1920 at 306 West Second Avenue, is a hip-roofed Craftsman Foursquare with a shed-roofed porch featuring square paneled posts on brick piers, weatherboards on the first story and wood shingles on the second. Even some of the neighborhood's plainest dwellings, like the circa 1920 front-gable-roofed frame house at 211 Williams Street, sport Craftsman elements such as triangular eave brackets and nine-over-one window sash. Modest bungalows continued to be constructed in the district through the early 1930s.

The influence of the Colonial Revival is evident in the Park Place Local Historic District from the

² Paul Duchscherer and Douglas Keister, *The Bungalow: America's Arts and Crafts Home* (New York: The Penguin Group, 1995), 2, 7-8, 14-15.

1910s through the post-World War II period, first appearing as builders incorporated elements such as classical porch columns and Palladian windows into Queen Anne and Craftsman dwellings. Richard Guy Wilson defined the Colonial Revival as “the United States most popular and characteristic expression. Neither a formal style or a movement, Colonial Revival embodies an attitude that looks to the American past for inspiration and selects forms, motifs, and symbols for replication and reuse.”³ Most of the twenty-one Colonial Revival-influenced residences constructed in the district through the 1950s are modest dwellings with symmetrical facades and classical, Georgian, or Federal nuances, often executed in brick veneer. Finely detailed, expansive examples occupy prominent lots, particularly on West Second and West Third Avenues.



Carroll M. and Maurine Wall House, circa 1920, 208 West Third Avenue

The two-story Ira S. and Marguerite Brinkley House, constructed around 1925 at 202 West Third Avenue, is a notable frame Colonial Revival dwelling featuring a multi-paned transom over the front door sheltered by a gabled pediment supported by Tuscan columns and prominent entablatures crowning the lower façade windows. The red terra cotta tile roof provides a striking contrast to the white weatherboards. The circa 1920 Carroll M. and Maurine Wall House at 208 West Third Avenue represents another variation of the Colonial Revival—the Dutch Colonial Revival—with its gambrel roof, long shed dormer across the façade and slightly recessed entry sheltered by an arched hood. A matching two-bay, front-gambrel-roofed garage stands to the rear of the house. The circa 1948 G. Arthur and Maggie Thomason House at 219 West Second Avenue is an austere, two-story, stone post-war dwelling with Colonial Revival pilasters and entablature flanking the central entrance and flat arches with keystones over the windows.

As in many neighborhoods that developed during the first half of the twentieth century, the Park Place Local Historic District includes three modest examples of the English cottage form, also called the Period Cottage. Drawing from buildings erected in Tudor England during the late fifteenth and sixteenth centuries, such houses are often executed in brick with false half-timbering in steeply pitched gables and feature diamond-paned or casement windows, round-arched doors, and façade chimneys. The circa 1930 one-and-one-half-story brick J. Matthew and Letha B. Morgan House at 210 Williams Street is the district’s most elaborate Period Cottage, featuring a side-gable roof with two front-gable bays, a recessed round-arch front door, and a corner porch with a large central brick arch flanked by two smaller arches on each elevation.

³ Richard Guy Wilson, *The Colonial Revival House* (New York: Harry N. Abrams, Inc., 2004), 6.



J. Matthew and Letha B. Morgan House, circa 1930, 210 Williams Street

Four 1920s examples of the Mediterranean Revival style are located in the district. Mediterranean Revival houses evoke villas on the Mediterranean coasts of France, Spain and Italy with their low-pitched hipped roofs covered with ceramic tiles, deep bracketed eaves, arches above large windows, French doors and symmetrical façades. The circa 1920 William W. and Sadie L. Woodruff House at 300 West Second Avenue is a classic interpretation. The two-story brick building has a green tile hip roof with a bracketed cornice, an entry framed by sidelights and a fanlight, a gabled entry porch supported by Tuscan columns, and a front terrace with brick posts spanned by a wood balustrade. A matching garage compliments the house. The circa 1920 Joseph and Sadie Walser House, located just around the corner at 146 West First Avenue, is almost identical in form and stylistic elements, but features a stuccoed exterior and hipped dormers. Cabell and Daisy Philpott built a more expansive Mediterranean Revival dwelling at 209 West Second Avenue in 1927. The red tile roof, recessed entry with sidelights and a transom, and French doors across the façade are typical of the style, but the Palladian window in the central bay below a gabled parapet is a distinctive touch.



Cabell and Daisy Philpott House, 1927, 209 West Second Avenue

As construction revived after World War II, some North Carolina families sought the comfort and reassurance of building in styles of the past such as the Colonial Revival, but, more commonly, new

houses took on a streamlined modern appearance. Small homes, usually one-story, with minimal detailing often reflected a stripped-down Colonial Revival influence; thus, the style, which began appearing just before the war and proved very popular in the last half of the 1940s, has been called Minimal Traditional by architectural historians. In the Park Place Local Historic District, fourteen such houses erected between 1940 and 1953 took several forms including a side-gabled dwelling with or without a front-facing gable.



Paul G. and Edna E. Allred House, ca. 1948, 304 West Third Avenue

The Parkview Apartments on West Third Avenue are the district's largest and most architecturally distinctive multi-family dwellings. The owners named the three-story brick buildings to reflect their location on the edge of the Ford Estate, which later became a city park and is now the parking lot for First Baptist Church. Brick pilasters, an arched window, and a cast-stone panel inscribed with the building name in the flat parapet ornament the façade of Parkview Apartments No. 1, constructed around 1927. Parkview Apartments No. 2, completed about three years later, boasts a more elaborate Mission-style parapet and a cast-stone Tudor Revival entrance surround.



Parkview Apartments No. 1, ca. 1927, and No. 2, ca. 1930, 215 and 217 West Third Avenue

The Ranch house, with its long, rectangular form, low-pitched roof, and open floor plan, appeared in Lexington by the 1950s. The Ranch style, loosely based on the rural homes of ranchers in the western

United States, originated in California in the 1930s and by the middle of the century had been adapted throughout the country to meet the needs of families who desired a low-cost dwelling with living area on one level and enough space for all its members to enjoy their privacy. Craftsman and Modern design also influenced the Ranch style with their emphasis on connectivity between indoor and outdoor spaces, the use of natural materials, and exposed structural elements. Ranch houses in the Park Place Local Historic District are modest in both size and design; most have brick and synthetic siding exteriors with broad chimneys and minimal detailing. Five Ranch houses were built on undeveloped lots in the district by 1957.

The Park Place Local Historic District contains a concentration of Lexington's most intact historically and architecturally significant dwellings. The district's wide range of architectural forms and styles, from Queen Anne cottages to Ranch houses, clearly manifest Lexington's periods of economic growth from the early twentieth century through the post World War II era.

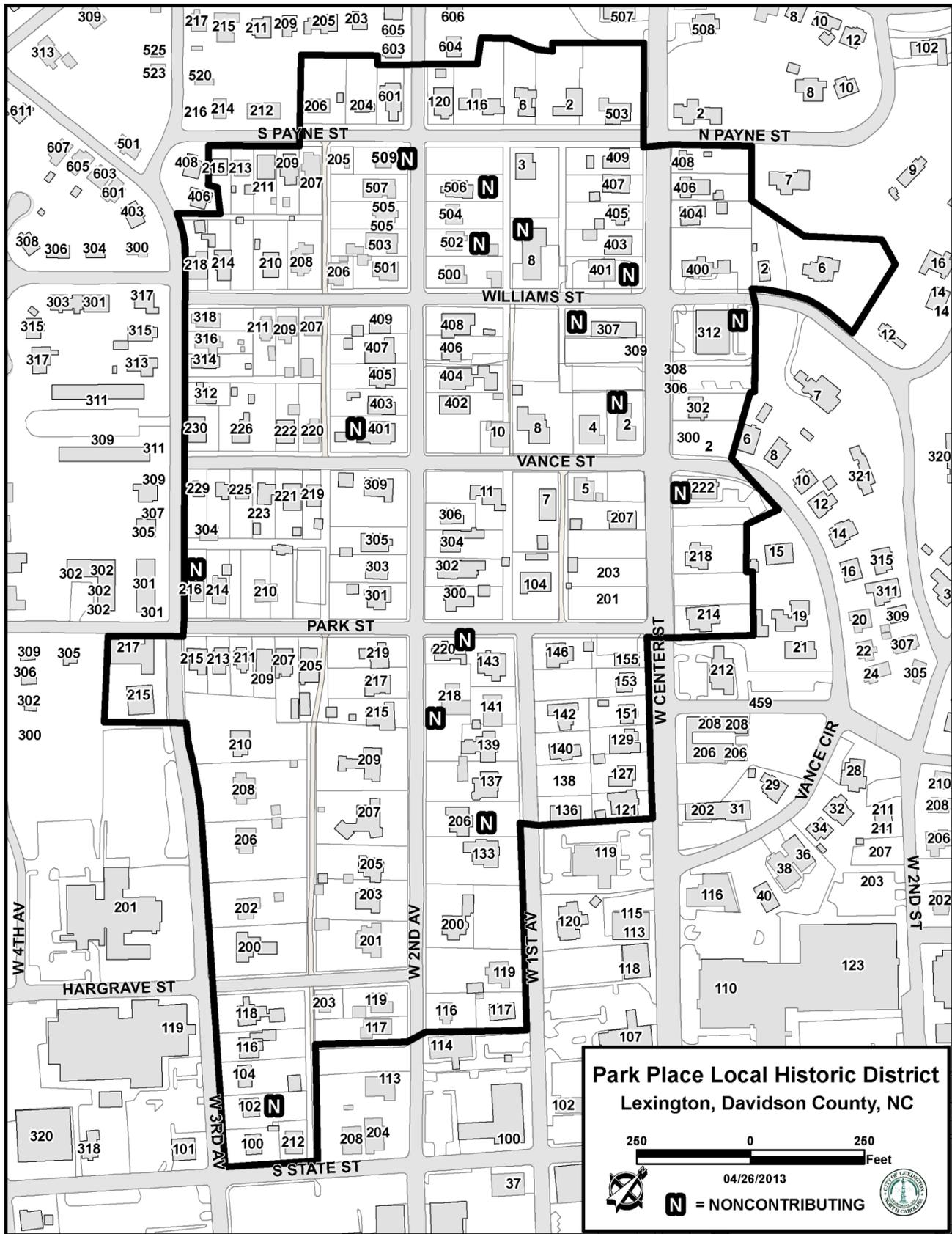
INTEGRITY STATEMENT

The general condition of the 146 primary resources in the Park Place Local Historic District ranges from good to excellent. Contractors erected the majority of the properties—just over sixty percent—between 1920 and 1930. Each resource is designated as contributing or noncontributing to the district's historic significance and appearance based on age and degree of alteration. Buildings pre-dating 1957 are considered contributing if they retain architectural integrity from the period of significance. Noncontributing buildings postdate 1957 or were built before that year and have been heavily altered by synthetic siding application, original window replacement, porch enclosure, and/or large addition construction, and therefore have lost their architectural and historical integrity.

Only eleven primary resources were erected between 1960 and 2013, while an additional four are noncontributing due to alterations, resulting in a district with an approximately ninety percent contributing building ratio. The Park Place Local Historic District also contains eighty-seven outbuildings, fifty-five of which were constructed before 1957. All of the historic outbuildings are contributing.

The bungalow at 201 West Center Street and the adjacent Foursquare at 203 West Center Street are the sole properties that have been demolished within the Park Place Local Historic District since the Lexington Residential Historic District's 2007 National Register listing. Given the minimal changes, the district conveys to a high degree the appearance it had acquired by the end of the period of significance and retains integrity of location, setting, design, materials, workmanship, feeling, and association.

The following map, which indicates the district's few noncontributing resources with an "N," has been rotated from a true north compass orientation in order to maximize space. Noncontributing resources include historic residences with alterations such as large additions and synthetic siding and dwellings and commercial buildings built after the period of significance. Recently constructed sheds, garages, and carports are not shown on the map.



INVENTORY LIST

The inventory list is arranged alphabetically by street name, followed by numerical streets in ascending order. For streets that run north to south, the east side is presented first. For streets that run east to west, the north side is presented first. Each primary and secondary resource within the district is enumerated in the inventory list. Vacant lots are noted.

Each historic property is assigned a name, where possible, based on the first-known and/or long-term occupants. Most information about these early residents comes from the Lexington City Directories (1916-1974) located at the Lexington Branch of the Davidson County Public Library. However, the first city directory to give street address and owner information was 1925-26, and quite a few of the buildings in the neighborhood were constructed before then. Therefore, the principal investigator did not assign most houses built before 1920 names unless they had been identified in a previous survey or property owners supplied information from deed research and oral history. Construction dates are based on a 1916-17 City Directory map, Sanborn Map Company maps (published in 1885, 1890, 1896, 1902, 1907, 1913, 1923, 1929 and 1948), neighborhood plats, Davidson County property cards, interviews with local residents, city directory research, and the building's style and form.

Some of the city directories were published biannually and thus had dates such as 1925-26. In that case, the first year, such as 1925, was used as the circa date of construction. In situations where city directories did not cover a street or part of a street until after the resources were already constructed or on blocks where the street numbering had changed over time, building dates were based on architectural style and, when applicable, on known construction dates for similar buildings. Additionally, city directories are occasionally incorrect, and may indicate a construction date later or earlier than that suggested by the resource's architectural style. In these rare instances, an estimated construction date is based on style and any other available information from maps or interviews.

The following narrative descriptions of each resource are based upon the 2007 Lexington Residential Historic District National Register nomination, updated with additional observations and to reflect the district's physical evolution since the 2005 survey. As the National Register nomination only included the most significant historic outbuildings and landscape features, the principal investigator added many secondary structures, fences, retaining walls, and other resources to the inventory list. The scope of work did not include additional historical background research.

WEST CENTER STREET

North Side

House

214 W. Center Street, ca. 1927, Contributing Building

Brick Foursquare with a partial-width hip-roofed porch supported by slender paired columns; 6/6 sash, sidelights flanking entry, interior brick chimneys, an enclosed side porch, and a gabled two-story rear addition that almost doubles the building's size. This house was built after 1925 when it is not listed in the city directory and before 1929 when it first appears on a Sanborn map. The earliest city directory reference occurs in 1937 when Jacob C. and Willie C. Leonard occupied the house. Dr. Leonard was

the pastor of First Reformed Church.

Vacant Lot

House

218 W. Center Street, ca. 1927, Contributing Building

Brick Foursquare with partial-width front and side porches supported by square brick posts; 6/1 sash, sidelights flanking entry, interior brick chimneys, and a shallow one-story vinyl German-sided rear addition. A brick retaining wall separates the yard from the sidewalk. This house was built after 1925 when it is not listed in the city directory and before 1929 when it first appears on a Sanborn map. The earliest city directory reference occurs in 1937 when Elliott K. and Mabel G. Carter occupied the house. Mrs. Carter was an antiques dealer.

Vacant Lot

Office Building

222 W. Center Street, ca. 1980, Noncontributing Building

One-story, brick, Colonial Revival office building with a front-gable roof and a gabled entry porch supported by slender columns; quoins, molded cornice, stuccoed gable ends, cupola topped with a rooster weathervane. A brick retaining wall separates the yard from the sidewalk.

Vacant Lot

Warren E. and Daisy Hewitt House

302 W. Center Street, ca. 1954, Contributing Building

One-and-one-half-story brick Cape Cod with German-sided gable ends and two gabled dormers; 2/2 horizontal windows, one sidelight at entry, brick steps with metal railing, brick end chimney, rear shed addition. Mr. Hewitt was a salesman for Davidson Motor Company; Mrs. Hewitt was a saleswoman for J. F. Ward Company.

Parking Lot

Breeden Insurance

312 W. Center Street, ca. 1985, Noncontributing Building

One-story brick office building with a hipped roof; clerestory windows, large gabled dormers on each roof slope.

House

400 W. Center Street, ca. 1945, Contributing Building

One-story brick Ranch with a side-gable roof and a gabled entry porch supported by square posts; metal casement windows, interior brick chimneys, enclosed side porch, vinyl-sided hyphen attaches to a vinyl-sided garage with a front-gable roof. This house originally had a North Williams Street address and is oriented to Williams Street; numerous address changes made city directory research

inconclusive.

House

404 W. Center Street, ca. 1930, Contributing Building

One-and-one-half-story weatherboarded Craftsman bungalow with a side-gable roof and a large gabled dormer on the front roof slope flanked by two smaller gabled dormers; wraparound porch engaged on the front and supported by square posts on brick piers spanned by a wood railing, 12/1 sash, interior brick chimneys, false half-timbering above the tops of the windows in the gable ends, exposed rafter ends, triangular eave brackets. This house does not appear on the 1923 Sanborn map and later Sanborn maps did not cover this block. The 1925-26 city directory did not cover this block. The earliest city directory reference for this address occurs in 1937 when Silas M. and Elsie B. Everhart occupied the house. Mr. Everhart was a foreman with the Lexington Telephone Company.

Garage

404 W. Center Street, ca. 1950, Contributing Building

One-story weatherboarded garage with an asymmetrical side-gable roof with a very short front roof slope.

House

406 W. Center Street, ca. 1920, Contributing Building

One-and-one-half-story brick Craftsman bungalow with a side-gable roof and a gabled dormer; wraparound porch engaged on the front and supported by tapered posts on brick piers spanned by a wood railing, prominent front-gable porch section at the north end of the facade, 6/1 sash, single-leaf French door with sidelights, false half-timbering with pebbledash and Palladian windows in the gable ends and the dormer, brick end chimney, exposed rafter ends, paired false beams. This house appears on the 1923 Sanborn map but the 1925-26 city directory did not cover this block. The earliest city directory reference does not occur until 1937 when Ora Beck, an inspector at Shoaf-Sink Knitting Mills, occupied the house. Mr. Beck was not married.

Garage

406 W. Center Street, ca. 1930, Contributing Building

One-story weatherboarded garage with a front-gable roof and a shed addition on the north side.

House

408 W. Center Street, ca. 1930, Contributing Building

One-and-one-half-story Cape Cod with three gabled dormers and a gabled entry porch supported by square posts; 6/6 sash, sidelights flanking entry, brick end chimney, asbestos siding, screened side porch. This house does not appear on the 1923 Sanborn map and later Sanborn maps did not cover this block. The 1925-26 city directory did not cover this block. The earliest city directory reference for this address occurs in 1937 when William M. and Julia B. Tuttle lived here. Mr. Tuttle managed McClellan Stores.

Garage

408 W. Center Street, ca. 1930, Contributing Building

One-story German-sided garage with a front-gable roof, exposed rafter ends and a replacement plywood garage door.

South Side

House

121 W. Center Street, ca. 1920, Contributing Building

One-story brick house with a pyramidal hip roof and a gabled entry porch supported by Tuscan columns; banks of double and triple windows with 6/1 sash, tall interior chimney, bracketed cornice, brick retaining wall. This building appears on the 1923 Sanborn map.

Garage/Apartment

121 W. Center Street, ca. 1950s, Contributing Building

Two-story, side-gable-roofed brick garage with 1/1 aluminum-framed sash and an enclosed garage bay.

House

127 W. Center Street, ca. 1950, Contributing Building

One-and-one-half-story brick Minimal Traditional with a side-gable roof and an engaged front porch supported by square posts; 8/8 sash, single-leaf entry, interior chimney, vinyl siding on the gable ends of the main block, skylights. A tall brick retaining wall separates the yard from the sidewalk.

House

129 W. Center Street, ca. 1920, Contributing Building

One-story brick Craftsman bungalow with a side-gable roof and a projecting hip-roofed bay on the northwest corner; prominent front porch with square brick posts and a stuccoed and false-half-timbered gable, replacement windows and doors, interior chimney, false beams. A brick retaining wall separates the yard from the sidewalk. This building appears on the 1923 Sanborn map.

Garage

129 W. Center Street, ca. 1920, Contributing Building

One-story brick garage with a hipped roof, one garage bay and a single-leaf entry. This building appears on the 1923 Sanborn map.

Willie C. Leonard House

151 W. Center Street, ca. 1951, Contributing Building

One-and-one-half-story Cape Cod with three gabled dormers and a hip-roofed entry porch with metal posts and metal railing; 6/6 and 8/8 sash, brick end chimney, vinyl siding, gable vents. A brick retaining wall separates the yard from the sidewalk. The first city directory reference to this address occurs in 1951-52, when the house was occupied by Willie C. Leonard, widow of Jacob.

Garage

151 W. Center Street, ca. 1951, Contributing Building

One-story vinyl-sided garage with a front-gable roof and a roll-up door.

Oliver L. and Grace Young House

153 W. Center Street, ca. 1951, Contributing Building

One-and-one-half-story side-gable-roofed Minimal Traditional with a projecting gabled bay at the west end of the façade; 6/6, 8/8 and picture windows, recessed entry, gabled dormer, brick end chimney, brick veneer on the east side of the façade, vinyl siding elsewhere, gable vents. A brick retaining wall separates the yard from the sidewalk. Mr. Young was a pharmacist at Community Drug Store.

Leonard Realty

155 W. Center Street, ca. 1975, Noncontributing Building

One-story, brick, Colonial Revival office building with a side-gable roof, denticulated cornice, and prominent end chimneys with corbelled stacks; 6/6 and multi-pane bay windows, sidelights flanking entry, rear gabled wing with gabled hood sheltering auxiliary entrance.

Vacant Lot

The ca. 1920 bungalow that stood on this site (201 W. Center Street) was demolished after the City of Lexington issued a permit for that work on September 28, 2008.

Vacant Lot

The ca. 1920 Craftsman Foursquare that stood on this site (203 W. Center Street) was demolished after the City of Lexington issued a permit for that work on November 14, 2012.

Vacant Lot**Charles and Winnie Warner House**

207 W. Center Street, ca. 1920, Contributing Building

One-and-one-half-story bungalow with a clipped-side-gable roof and clipped-gable dormer; engaged front porch with fluted Tuscan columns and denticulated cornice, 6/6 sash, brick interior chimneys, triangular eave brackets, aluminum siding, rear addition. The house appears on the 1923 Sanborn map and was occupied by Charles and Winnie Warner in 1925-26. Mr. Warner worked at Elk Furniture.

Vacant Lot**Parking Lot****Office Building**

307 W. Center Street, ca. 1970, Noncontributing Building

Two-story, blonde brick, Modernist office building with a flat roof, wide metal cornice, glass curtain wall façade, double-leaf glass entry, narrow full-height plate glass windows on north elevation, metal

steps to rear second-floor entrance. Granite plaque on façade inscribed “Calvert & Allred, June 16, 1975.”

Commercial Building

401 W. Center Street, ca. 1960, Noncontributing Building

One-story brick commercial building with a flat roof, narrow plate-glass windows, single-leaf glass doors, fabric awning over Williams Street entrance, brick stoops with metal railings, deep eaves, wood-shingled roof edge.

House

403 W. Center Street, ca. 1920, Contributing Building

One-and-one-half-story Craftsman bungalow with a clipped-side-gable roof and a clipped-gable dormer; wraparound porch engaged on the front and supported by square posts on brick piers spanned by a wood railing, 4/1 sash, brick interior chimneys, triangular eave brackets, asbestos siding, brick retaining wall at sidewalk. The house was occupied by J. Marshall and Lucy L. Browning in 1937. No occupations were listed for the Brownings.

Carport

403 W. Center Street, ca. 1970, Noncontributing Structure

One-story metal carport with a flat roof.

Ruth P. Wasler House

405 W. Center Street, ca. 1947, Contributing Building

One-and-one-half-story brick Colonial Revival with a side-gable roof, clipped-gable dormers and a flat-roofed full-facade porch with square posts and roof balustrade; original 8/8 sash at the time of NR listing have been replaced with 1/1 sash, brick interior chimney, gabled screened porch on south side, brick retaining wall at sidewalk. Ms. Wasler was a bookkeeper.

Garage

405 W. Center Street, ca. 1947, Contributing Building

One-story brick garage with two bays and a side-gable metal roof.

Ivey W. and Mary Lohr House

407 W. Center Street, ca. 1920, Contributing Building

One-and-one-half-story weatherboarded Craftsman bungalow with a side-gable roof and a large gabled dormer; engaged front porch with paired square posts on brick piers spanned by a brick kneewall and heavy solid spandrels that create an arcaded effect, original 4/1 sash on second story, replacement Craftsman-style windows on the first floor, sidelights flanking entry, wood shingles on the second story and dormer, brick end chimney, brick retaining wall at sidewalk. The house was occupied by Ivey W. and Mary Lohr in 1925-26. Mr. Lohr was a railway mail clerk.

Garage

407 W. Center Street, ca. 1950, Contributing Building

One-story German-sided garage with a front-gable roof, single-leaf entry and interior chimney.

Zeb G. and Mary Smith House

409 W. Center Street, ca. 1930, Contributing Building

One-story brick Period Cottage with a side-gable roof and projecting front-gable bays; corner entry porch with brick posts and broadly arched openings, 6/1 and picture windows, brick interior chimney, demi-lune windows and vents in gables, brick retaining wall at sidewalk. A frame shed-roofed room with a screened porch extends from the rear elevation. Mr. Smith was a manager with G. W. Smith Lumber Company.

Garage

409 W. Center Street, ca. 1930, Contributing Building

One-story, hip-roofed, weatherboarded, single-bay garage.

House

503 W. Center Street, ca. 1930, Contributing Building

One-and-one-half-story brick bungalow with a side-gable roof and gabled dormers; engaged front porch with Tuscan columns on brick piers spanned by a brick kneewall, 4/1, 5/1 and 8/1 sash at the time of NR listing, brick interior chimney, vinyl-sided gabled addition on south elevation, brick retaining wall at sidewalk. The paired second-story windows contain 6/6 sash and the gabled dormers louvered vents. The house was occupied by James and Patricia Moore in 1937. Mr. Moore worked at Brown Paving Company, Mrs. Moore was a nurse.

HARGRAVE STREET

House

203 Hargrave Street, ca. 1920, Contributing Building

One-story, three-bay, wood-shingled Craftsman bungalow with a double-side-gable roof and a gabled, central, entry porch supported by square shingled posts; 6/1 sash, brick end chimneys, triangular eave brackets, exposed rafter ends. This house first appears on the 1923 Sanborn map and is identical to some houses in the Erlanger Mill village. Mr. Kinzer was a clerk at Erlanger Mills.

PARK STREET

East Side

House

205 Park Street, ca. 1930, Contributing Building

One-and-one-half-story side-gable bungalow with a shed dormer and a recessed front porch supported by square posts spanned by a wood railing; single, paired and tripled 6/1 sash; projecting hip-roofed bays on the side elevations, aluminum siding, triangular eave brackets. This address first appears in the

1947 city directory, when it is listed as the Park Street Apartments (4 units).

Garage

205 Park Street, ca. 1930, Contributing Building

One-story weatherboarded garage with a front-gable roof, exposed rafter ends, and a long equipment shed addition extending from the south elevation.

Coite H. and Lillian Jones House

207 Park Street, ca. 1920, Contributing Building

One-story side-gable bungalow with a full-width, gabled front porch supported by tapered posts on brick piers; 5/1 sash, brick interior chimney, vinyl siding. The house appears on the 1923 Sanborn map and was occupied by Coite H. and Lillian Jones in 1925-26. Mr. Jones was an assistant manager at Metropolitan Life Insurance Company.

Garage

207 Park Street, ca. 1980, Noncontributing Building

One-story concrete block garage with a front-gable roof; roll-up garage door, vinyl-sided gables.

Eugene O. and Lydia Webster House

209 Park Street, ca. 1920, Contributing Building

One-story weatherboarded bungalow with a side-gable roof and a recessed front porch supported by square posts; 5/1 sash, wood-shingled gables, false beams, triangular eave brackets, rear addition. An unpainted “deck-style” wood railing spans the porch posts. The house appears on the 1923 Sanborn map and was occupied by Eugene O. and Lydia Webster in 1925-26. Mr. Webster was in charge of cleaning and pressing on the second floor of the Development Building.

House

211 Park Street, ca. 1920, Contributing Building

One-story weatherboarded bungalow with a side-gable roof and a gabled front porch supported by square posts on brick piers; 12/1 sash, wood shingles and false beams in gables, exposed rafter ends, brick interior chimneys. The house appears on the 1923 Sanborn map, was vacant in the 1925-26 city directory, and occupied by Henry C. and Myrtle Leonard in 1937. Mr. Leonard was a contractor.

W. Roger and Juanita Lanning House

213 Park Street, ca. 1920, Contributing Building

One-story front-gable bungalow with a cross-gable wing and a gabled front porch supported by square posts on brick piers; replacement 1/1 sash, brick interior chimney, stepped eave brackets, vinyl German siding. The house appears on the 1923 Sanborn map and was occupied by W. Roger and Juanita Lanning in 1925-26. Mr. Lanning was a policeman.

Laura and D. H. Berrier House

215 Park Street, ca. 1920, Contributing Building

One-story, side-gable bungalow with a large gabled dormer; wrap-around porch engaged on the front and supported by square posts on brick piers spanned by a wood railing; replacement 4/1 sash emulate original windows, brick interior chimneys, shed and gabled additions at rear, vinyl German siding. The house appears on the 1923 Sanborn map and was occupied by Laura Berrier, widow of D. H., and her daughter, Minnie F. Berrier, in 1925-26. Miss Berrier was a clerk at Efird's Department Store.

West Side

Ellen W. Hinkle House

104 Park Street, ca. 1953, Contributing Building

One-story brick Minimal Traditional with a side-gable roof and a projecting front-gable bay; metal casement windows, sidelight at entry, screened porch on northeast elevation, brick interior chimney, vinyl-sided gables. The house does not appear on the 1948 updates to the 1929 Sanborn map and was occupied by Ellen W. Hinkle, a widow, in 1953-54.

Henry and Ina Styers House

210 Park Street, ca. 1920, Contributing Building

Two-story weatherboarded Craftsman Foursquare with a hip-roofed front porch supported by square posts; replacement 1/1 and picture windows, exposed rafter ends, one-story rear wing, attached carport on north elevation. This house first appears on the 1923 Sanborn map and was occupied by Henry and Ina Styers in 1925-26. Mr. Styers was a foreman at United Furniture Company.

Carport

210 Park Street, ca. 1980s, Noncontributing Structure

Two-part, flat-roofed carport supported by wood posts.

Tennis Court

210 Park Street, ca. 2000, Noncontributing Structure

Hard-surface tennis court with chain-link fence.

Luther H. and Troy Berrier House

214 Park Street, ca. 1920, Contributing Building

One-and-one-half-story weatherboarded Craftsman bungalow with a side-gable roof and a full-width gabled porch supported by square posts on brick piers; 5/1 sash, interior brick chimney, wood-shingled gables, exposed rafter ends, triangular eave brackets. This house appears on the 1923 Sanborn map and was occupied by Luther H. and Troy Berrier in 1925-26. Mr. Berrier was a mechanic at Woodrow McKay.

Garage

214 Park Street, ca. 1950, Contributing Building

One-and-one-half-story garage with a front-gable roof; 4/1 sash, board-and-batten siding.

House

216 Park Street, ca. 1970, Noncontributing Building

One-story brick house with a hipped roof and deep eaves; metal sliding-sash windows, brick and concrete stoop, brick interior chimney, brick retaining wall.

SOUTH PAYNE STREET**East Side****Lee Lopp House**

3 S. Payne Street, ca. 1925, Contributing Building

One-and-one-half-story hip-roofed bungalow with a large gabled dormer and a hip-roofed front porch with turned posts spanned by a wood railing; replacement sash, shallow shed addition on north elevation, one-story rear wing, vinyl German siding. The house appears on the 1929 Sanborn map and was occupied by Lee Lopp in 1925-26. No occupation was listed for Mr. Lopp.

John L. and Jamie P. Fritts House

205 S. Payne Street, ca. 1945, Contributing Building

One-story side-gable-roofed Minimal Traditional with a gabled entry porch supported by square posts; replacement 6/6 vinyl sash emulate the original windows, brick interior chimney, inset corner porch with unpainted “deck-style” wood railing, aluminum siding, small rear shed addition. A modern wood railing flanks the front steps. The house appears on the 1948 updates to the 1929 Sanborn map and was occupied by John L. and Jamie P. Fritts in 1947-48. Mr. Fritts was the owner of the Men and Boy’s Store and the assistant manager of the Family Shoe Center.

Shed - general storage

205 S. Payne Street, ca. 2010, Noncontributing Building

Prefabricated gable-roofed metal storage shed.

House

207 S. Payne Street, ca. 1927, Contributing Building

One-story front-gable bungalow with a gabled front porch supported by replacement square posts spanned by an unpainted “deck-style” wood railing; 4/1 and 5/1 sash, brick interior chimney, slightly projecting gabled bay on south elevation, vinyl siding, triangular eave brackets. The house appears on the 1929 Sanborn map and was occupied by Lloyd A. and Veigh L. Thomason in 1941. Mr. Thomason was a plumber with Acme Plumbing Company.

Shed - general storage

207 S. Payne Street, ca. 1990s, Noncontributing Building

Prefabricated, gambrel-roofed, plywood-paneled storage shed.

Raymond O. and Helen O. Delancy House

209 S. Payne Street, ca. 1940, Contributing Building

One-story hip-roofed house with a recessed corner porch with a metal post and step railing and an offset, hip-roofed wing at the rear; 4/1 and 3/1 sash, rusticated concrete block foundation, brick end and interior chimneys with tall stacks, enclosed rear porch, flat-roofed rear sunporch addition, aluminum siding with narrow German vinyl siding under front porch. The house appears on the 1948 updates to the 1929 Sanborn map and was occupied by Raymond O. and Helen O. Delancy in 1941-42. Mr. Delancy was an employee at Lexington Silk Mills.

House

211 S. Payne Street, ca. 1927, Contributing Building

One-story German-sided bungalow with a clipped-front-gable roof and a wraparound porch supported by tapered posts on brick piers spanned by a pierced brick railing; 4/1 sash, brick interior chimney, gabled bays project from north and south elevations, exposed rafter ends. The house appears on the 1929 Sanborn map and was occupied by Joseph and Grace Bailey in 1941-42. Mr. Bailey was a grocer.

House

213 S. Payne Street, ca. 1951, Contributing Building

One-and-one-half-story Minimal Traditional with a side-gable roof, a projecting front-gable entry bay, and a recessed corner porch with turned posts and railings; 1/1 sash, brick end chimney with a tall stack, vinyl siding, modern 5-V crimp red metal roof. The house does not appear on the 1948 updates to the 1929 Sanborn map and was occupied by Harry D. and Dorothy Michael in 1951-52. Mr. Michael was in the US Air Force.

Outbuilding - undetermined

213 S. Payne Street, ca. 1951, Contributing Building

One-story, side-gable-roofed, plywood-panel-sheathed outbuilding with a single-leaf entry and a modern 5-V crimp red metal roof.

Kenneth O. and Betty D. Farabee House

215 S. Payne Street, ca. 1945, Contributing Building

One-story side-gable-roofed Minimal Traditional with a projecting front-gable bay on the north side of the façade; 1/1 sash, engaged porch with square posts spanned by a wood railing, brick end chimney, vinyl siding, modern green 5-V crimp roof, concrete block retaining wall. The house appears on the 1948 updates to the 1929 Sanborn map and was occupied by Kenneth O. and Betty D. Farabee in 1951-52. Mr. Farabee was a dispatcher with Maybelle Transportation Company.

West Side

Sallie Leonard House

2 S. Payne Street, ca. 1925, Contributing Building

One-and-one-half-story side-gable-roofed house with a dominant gabled front porch supported by square paired posts; 6/1 sash and some 6/6 vinyl replacement windows, entry with sidelights, one-story rear clipped-gable-roofed wing, brick interior and end chimneys, rusticated concrete block foundation, vinyl siding. Connected by an open breezeway to a one-story garage addition that has two open bays and two gabled dormers. The house appears on the 1929 Sanborn map and was occupied by Sallie Leonard, the widow of P.D. Leonard, in 1925-26.

Howard W. and Margaret M. McCurdy House

6 S. Payne Street, ca. 1945, Contributing Building

One-and-one-half-story Period Cottage with a side-gable roof, a large front-gable bay and a small gabled entry bay with a pointed-arch door; 6/6 and 8/8 sash, façade chimney, vinyl siding, series of rear additions, wood picket front yard fence. This house appears on the 1948 Sanborn map and was occupied by Howard W. and Margaret M. McCurdy in 1947. Mr. McCurdy was the secretary of Coble Dairy Products, Inc.

Henry C. and Ruth Miller House

116 S. Payne Street, ca. 1940, Contributing Building

One-story side-gable-roofed Minimal Traditional with a series of side additions culminating in an attached garage; vinyl replacement windows, slightly projecting front-gable bay with inset corner entry with sidelight, brick interior chimney, vinyl siding. Mr. Miller was a watchmaker at the Parker-Miller Company.

House

120 S. Payne Street, ca. 1927, Contributing Building

One-story bungalow with a clipped-side-gable roof and a gabled front porch supported by square posts; paired 4/1 sash, entry with sidelights, projecting hip-roofed bays on east and west elevations, enclosed rear porch, brick end and interior chimneys, asbestos siding. Construction date based on tax records and the house's appearance. The house first appears on the 1929 Sanborn map and was occupied by Clarence V. and Lila Wood in 1941. No occupations were listed for the Woods.

Shed - general storage

120 S. Payne Street, ca. 1990s, Noncontributing Building

One-story prefabricated metal shed.

Shed - general storage

120 S. Payne Street, ca. 1990s, Noncontributing Building

One-story, side-gable-roofed, plywood-panel-sheathed shed with two single-leaf doors on south elevation.

Edward O. and Bettie Whitt House

204 S. Payne Street, ca. 1950, Contributing Building

One-story side-gable-roofed Minimal Traditional with a gabled entry porch supported by replacement

slender turned posts; projecting gabled wing at east end; 1/1 replacement and picture windows on façade, original 6/6 sash elsewhere; brick interior chimneys, aluminum siding, auxiliary side entrance sheltered by shed-roofed hood and accessed by wood handicapped-accessible ramp, wood deck on north side. Mr. Whitt was a supervisor at Burlington Mills.

J. Ralph and Sallie H. Hackney House

206 S. Payne Street, ca. 1955, Contributing Building

One-story brick Ranch with a side-gable roof and a recessed entry with sidelights; projecting asbestos-sided gabled wing at east end, metal casement windows, brick interior chimney, enclosed side porch. Construction date based on tax records and city directory research. Mr. Hackney was a manager at Wenonah Cotton Mills.

Carport

206 S. Payne Street, ca. 1955, Contributing Structure

Flat-roofed metal carport supported by metal posts.

SOUTH STATE STREET

Benjamin and Lula Lee House

212 S. State Street, ca. 1910, Contributing Building

One-and-one-half-story weatherboarded Dutch Colonial Revival with a side-gable roof and a front-gambrel-roofed wing; 12/1 sash, wood-shingled second story, bay window added to south side of façade, enclosed hip-roofed porch, shed-roofed rear addition. The first-floor windows are 1/1 sash replacements. This house appears on the 1916 city directory map. The earliest known occupants are Benjamin and Lula Lee, who lived here in 1925. Mr. Lee was a manager at American Railway Express Company. Although it is not known if the Lees were the first occupants, they resided here from at least 1925 until at least the 1950s. The SHPO survey file for this dwelling calls it the Lee-Holton House.

VANCE STREET

East Side

R. Holt and Sallie Hunt House

5 Vance Street, ca. 1920, Contributing Building

One-story weatherboarded bungalow with a cross-gable roof, a projecting front-gable bay and a recessed front porch supported by square paneled posts on brick piers spanned by a wood railing; 20/1 sash, brick interior chimney with a corbelled stack, stepped false beams in gables, screened shed porch addition on east elevation. The house appears on the 1923 Sanborn map and was occupied by R. Holt and Sallie Hunt in 1925-26. Mr. Hunt was a shipping clerk at Dacotah Mills.

Garage

5 Vance Street, ca. 1930s, Contributing Building

One-story, hip-roofed, German-sided outbuilding with later board-and-batten siding enclosing the

garage bay.

House

7 Vance Street, ca. 1927, Contributing Building

One-story hip-roofed brick bungalow with projecting gabled bays on the side elevations and gabled front and rear porches supported by square brick posts spanned by brick kneewalls; 9/1 sash, brick interior chimney, rusticated concrete block retaining wall and steps lead from sidewalk to brick front walk. The house appears on the 1929 Sanborn map and was occupied by John F. and M. Bernice Baker in 1937. Mr. Baker owned Royal Purple Cleaners.

House

11 Vance Street, ca. 1940, Contributing Building

Two-story brick house with a side-gable roof and a small recessed entry porch; 8/8 and 8/12 sash, multi-pane sidelights at entry, brick interior and end chimneys, one-story wing across one bay of the façade extends to a front-gable wing on the south side. Brick-lined slate steps with metal railings lead from the street to the front walk. The house appears on the 1948 updates to the 1929 Sanborn map, was vacant in 1941-42, and was occupied by J. Robert and Rachel Philpott in 1947-48. Mr. Philpott was the secretary-treasurer of United Furniture Corporation.

House

219 Vance Street, ca. 1951, Contributing Building

One-story front-gable-roofed house with a gabled entry porch supported by paired square posts; 1/1 and picture windows, brick interior chimney, asbestos siding. The house does not appear on the 1948 updates to the 1929 Sanborn map and was occupied by William T. and Pauline H. Neal in 1951-52. Mr. Neal was a mechanist at Dixie Furniture Company.

Garage

219 Vance Street, ca. 1951, Contributing Building

One-story front-gable German-sided garage with a sliding wood door.

Samuel D. and Julia McMillan House

221 Vance Street, ca. 1920, Contributing Building

One-and-one-half-story side-gable bungalow with a large gabled dormer and an engaged front porch supported by paired square posts on brick piers; 4/1 and 5/1 sash, sidelights at entry, brick interior chimney, weatherboards and vinyl siding. Low concrete retaining wall at sidewalk; two narrow concrete walks flank a central circular concrete-edged planting bed in the front yard. The house appears on the 1923 Sanborn map and was occupied by Samuel D. and Julia McMillan in 1925-26. Mr. McMillan was a telegraph operator at the Southern Railway Passenger Station.

Samuel and Mabel Badgett House

223 Vance Street, ca. 1920, Contributing Building

One-story house with a front-gable wing on the east side, a side-gable west wing, and a rear shed

addition; wraparound porch supported by replacement square posts, double-leaf paneled and glazed front door, 2/2 horizontal sash, concrete block foundation, vinyl siding, chain-link fence. The house appears on the 1923 Sanborn map and was occupied by Samuel and Mabel Badgett. Mr. Badgett was a carpenter.

Garage

223 Vance Street, ca. 1970s, Noncontributing Building

One-story vinyl-sided front-gable garage with a roll-up door.

Albert B. and Lorene M. Cole House

225 Vance Street, ca. 1951, Contributing Building

One-story front-gable-roofed house with a projecting front-gable bay and a small, recessed entry porch with one metal post, brick steps, and a temporary wood railing; replacement 1/1 sash, brick interior chimney, aluminum siding, aluminum awnings on façade. The house does not appear on the 1948 updates to the 1929 Sanborn map and was occupied by Albert B. and Lorene M. Cole in 1951-52. Mr. Cole was a city engineer; Mrs. Cole was a manager at Diana Shops.

James L. and Emma J. Sechrest House

227 Vance Street, ca. 1945, Contributing Building

One-story German-sided house with a side-gable roof, a projecting front-gable bay and a gabled entry porch with square posts spanned by a modern wood railing; 8/8 sash, brick interior chimney, screened rear shed porch. The house appears on the 1948 updates to the 1929 Sanborn map and was occupied by James L. and Emma J. Sechrest in 1947-48. Mr. Sechrest was a mechanic at the E. C. Sechrest and Son Machine and Welding Shop.

Therlo G. and Lucille W. Stafford House

229 Vance Street, ca. 1945, Contributing Building

One-story German-sided house with a side-gable roof, a projecting front-gable bay and a gabled entry porch supported by square posts spanned by a modern wood railing; 8/8 sash, brick interior chimney, stuccoed foundation, rear wood deck. The house appears on the 1948 updates to the 1929 Sanborn map and was occupied by Therlo G. and Lucille W. Stafford in 1947-48. Mr. Stafford was a superintendent at Lexington Silk Mills; Mrs. Stafford was an office manager at the Lexington Shirt Corporation.

West Side

Charles V. and Mary Sink House

2 Vance Street, ca. 1948, Contributing Building

Two-story side-gable-roofed Colonial Revival with an entry framed by pilasters and an arched pediment; original 8/8 sash have been replaced with vinyl sash, brick end chimneys, series of one-story rear gabled wings, vinyl siding, brick-lined slate front steps, patio, and handicapped ramp with metal railings. Based on city directory research, this house was built in the late 1940s and replaced an earlier one-and-one-half-story dwelling with a full-width front porch. Mr. Sink owned Fred O. Sink Printing House.

Shed - general storage

2 Vance Street, ca. 2010, Noncontributing Building

One-story, side-gable-roofed, prefabricated frame shed.

L. Thurman and Lora Fry House

4 Vance Street, ca. 1920, Contributing Building

One-and-one-half-story side-gable bungalow with a full-width front-gable porch supported by robust tapered wood posts on brick piers spanned by a modern wood railing; side-gable porte cochere supported by tapered wood posts on a brick kneewall; Craftsman-style 5/1 sash, multi-pane sidelights at entry, and a brick interior chimney with a corbelled stack. Modifications include vinyl siding, vinyl-clad triangular eave brackets, a large gabled dormer on the rear roof slope, a rear screened porch, and a wood deck. A vinyl picket fence secures the back yard, increasing in height at the rear lot line. This house appears on the 1923 Sanborn Map and was occupied by L. Thurman and Lora Fry in 1925-26. Mr. Fry owned Fry Electric Company. The current owner believes Frank Smith, a co-owner of Smith Lumber Company, built the house, but records indicate Mr. Smith purchased the house around 1940.

House

8 Vance Street, ca. 1910, 2010, Contributing Building

Two-story, weatherboarded, side-gable-roofed Queen Anne/Colonial Revival with a one-and-one-half-story hip-roofed addition featuring a large gabled wall dormer on the facade; full-width front porch with Doric columns spanned by a low turned balustrade, a pediment over the entrance and a square corner gazebo with a pyramidal roof; 1/1 sash, single-leaf multi-pane front door with multi-pane sidelights and transom, brick interior chimneys with corbelled stacks, wood-shingled gables. Two gabled rear one-story wings flank a central enclosed rear porch. A gabled addition encompassing living space above a three-bay carport supported by paneled posts projects from the northwest corner. An expansive wood deck extends from the rear elevation. A vinyl picket fence secures the back yard. This dwelling appears on the 1916-17 city directory map and is illustrated on the 1923 Sanborn. Jacob A. and Fannie H. Lindsay occupied the house in 1925-26. Mr. Lindsay was the secretary-treasurer of Lexington Home Furnishing Company.

Garage

8 Vance Street, ca. 1925, Contributing Building

One-story weatherboarded garage with a pyramidal hip metal roof topped with a metal weathervane, two bays and exposed rafter ends. The garage appears on the 1929 Sanborn map.

House

10 Vance Street, ca. 1927, Contributing Building

One-story weatherboarded Craftsman bungalow with a front-gable roof and a partially-recessed gabled porch supported by paneled posts on brick piers spanned by a wood railing; 9/1 sash, brick interior and end chimneys, wood-shingled gables, triangular eave brackets, exposed rafter ends; wood picket fence secures the rear yard. This house appears on the 1929 Sanborn map and was occupied by R. Lacy and Lettie S. Leonard in 1937. Mr. Leonard was a post office clerk.

Carport

10 Vance Street, ca. 1950s, Contributing Structure

Flat-roofed metal carport supported by round posts.

Marion and Effie Shockley House

220 Vance Street, ca. 1920, Contributing Building

One-and-one-half-story side-gable bungalow with a large gabled dormer and a recessed front porch supported by replacement square posts; 6/1 and 10/1 sash, brick interior chimney, exposed rafter ends, rear shed room and engaged porch, asbestos siding, vertical board fence. This house appears on the 1923 Sanborn map and was occupied by Marion and Effie Shockley in 1925-26. Mr. Shockley was a salesman for the North Carolina Candy Company.

Seacrest Rental House I

222 Vance Street, ca. 1920, Contributing Building

One-and-one-half-story side-gable bungalow with a gabled dormer and a recessed front porch supported by square posts on concrete block piers; 1/1 replacement sash on façade, 4/1 sash elsewhere; brick interior chimney, exposed rafter ends, projecting shed-roofed bay on west elevation, gabled and shed rear wings, vinyl and asbestos siding, concrete block foundation, 5-V crimp metal roof. This house appears on the 1923 Sanborn map, was vacant in 1925-26 and was occupied by William A. and Sadie L. Dunning in 1937. Mr. Dunning was a weaver at Lexington Silk Mills. Oral tradition holds that the Seacrest family built this house as rental property.

Garage

222 Vance Street, ca. 1925, Contributing Building

One-story, front-gable-roofed, German-sided garage with double-leaf door.

House

226 Vance Street, ca. 1920, Contributing Building

One-and-one-half-story hip-roofed bungalow with a Classical influence in the large gabled dormer's three-part window and the wraparound porch's square wood posts spanned by a metal railing; 9/1 sash, brick interior chimneys, rear gabled wing with shed addition, asbestos siding, vertical board fence. This house appears on the 1923 Sanborn map and was occupied by Lewis Barrier, an employee of the Davidson Motor Company, in 1925-26.

Garage

226 Vance Street, ca. 1920, Contributing Building

Narrow, weatherboarded, front-gable-roofed garage with a double-leaf door and exposed rafter.

Seacrest Rental House II

230 Vance Street, ca. 1920, Contributing Building

One-and-one-half-story side-gable bungalow with a gabled dormer and an engaged front porch supported by square posts on brick piers spanned by a wood railing; replacement 1/1 sash, stuccoed brick interior chimney, projecting shed-roofed bay and exterior wood stair to second floor on east elevation, shed dormer on rear roof slope, gabled one-story rear wing and shed-roofed enclosed rear porch, exposed rafter ends, triangular eave brackets, aluminum siding, small rear shed additions at northwest and northeast corners, brick retaining wall at sidewalk. This house appears on the 1923 Sanborn map and was occupied by Walter and Minnie Yarborough in 1925-26. Mr. Yarborough was a furniture worker. Oral tradition holds that the Seacrest family built this house as rental property.

WILLIAMS CIRCLE

House

2 Williams Circle, ca. 1927, Contributing Building

One-story front-gable bungalow with a gabled front porch supported by square posts on square wooden piers; vinyl replacement windows, brick interior chimney, exposed rafter ends, vinyl German siding. The house appears on the 1929 Sanborn map and was occupied by Zeb T. Myers in 1941-42. Mr. Myers was not listed as an individual so his occupation and marital status are unknown.

Garage

2 Williams Circle, ca. 1927, Contributing Building

One-story weatherboarded garage with a front-gable roof and a double-leaf, wood garage doors.

House

6 Williams Circle, ca. 1930, Contributing Building

One-and-one-half-story German-sided Colonial Revival with a side-gable roof and two gabled dormers; one-story wings on either side of the central block, a gabled entry porch with a vaulted ceiling and paired Tuscan columns on low paneled piers, entry flanked by single-light sidelights and a molded arched panel imitating a fanlight, replacement windows, brick interior chimneys, basement garage, brick retaining wall at driveway. The entry porch appears to be of recent construction. A modern wood picket fence secures the side yard. The house appears on the 1948 updates to the 1929 Sanborn map and was occupied by Dan J. and Hazel Redwine in 1937. Dr. Redwine was a physician.

WILLIAMS STREET

East Side

House

207 Williams Street, ca. 1920, Contributing Building

One-story side-gable bungalow with a large gabled dormer and a partially-enclosed wraparound porch open at the center and supported by tapered posts on brick piers; replacement 1/1 sash, brick interior chimney, projecting gabled bay on the west elevation, rear shed addition, stepped false beams in the gables, masonite siding with wood-shingled gables. The house appears on the 1923 Sanborn map and was occupied by James E. and Essie Saunders in 1949-50. Mr. Saunders was an engineer at Coble Dairy Products.

Carport

207 Williams Street, ca. 1970s, Noncontributing Structure

Shed-roofed carport supported by round metal posts and beams spanning a very wide bay with a shed room at the north end and a poured concrete parking surface.

House

209 Williams Street, ca. 1920, Contributing Building

One-story side-gable bungalow with a large gabled dormer and a partially-enclosed, wraparound porch recessed on the front and supported by tapered posts on brick piers spanned by a wood railing; 4-pane casement windows in the dormer, 6/6 sash elsewhere; brick interior chimney, projecting gabled bay on north elevation, stepped false beams in the gables, asbestos siding. The house appears on the 1923 Sanborn map and was occupied by Harry L. and Blye F. Collins in 1937. Mr. Collins was a baker at United Baking Company.

Garage

209 Williams Street, ca. 1920, Contributing Building

One-story German-sided garage with a front-gable roof, an open garage bay, and a shed addition.

House

211 Williams Street, ca. 1920, Contributing Building

One-story front-gable bungalow with a hip-roofed front porch supported by square posts on brick piers spanned by a modern wood lattice railing; 9/1 sash, projecting gabled bay on the west elevation, brick interior chimneys, triangular eave brackets, asbestos siding. The house appears on the 1923 Sanborn map and was occupied by L. Lee and Lois Y. Clifton in 1947-48. Mr. Clifton was a manager at the Motor Parts Company; Ms. Clifton was an employee of Wenonah Cotton Mills.

Garage

211 Williams Street, ca. 1920, Contributing Building

One-story German-sided garage with a front-gable roof and a double-leaf door.

West Side

Williams Street Offices

8 Williams Street, ca. 1994, Noncontributing Building

One-story, L-shaped, brick office building with a gabled roof and an engaged front porch supported by square posts; 1/1 sash. Construction date based on Davidson County tax records.

House

206 Williams Street, ca. 1927, Contributing Building

One-story front-gable bungalow with a partially recessed, gabled front porch supported by tapered

posts on brick piers spanned by a wood railing; paired and single 9/1 sash, brick end and interior chimneys, aluminum siding, vinyl-covered trim and eave brackets, rear additions. This house appears on the 1929 Sanborn map and was occupied by Larkin H. and Kathleen Shaw in 1937. Mr. Shaw was an office manager at Nokomis Cotton Mills.

Garage

206 Williams Street, ca. 1927, Contributing Building

One-story, hip-roofed, weatherboarded garage with one open bay.

House

208 Williams Street, ca. 1920, Contributing Building

One-story hip-roofed house with a large gabled dormer and a gabled entry porch supported by square posts on brick piers; vinyl replacement windows, brick interior chimney, aluminum siding, shed addition on north elevation, gabled rear wing, enclosed rear porch. This house appears on the 1923 Sanborn map and was occupied by Milton A. and Virginia Horner in 1937. Mr. Horner was a woodworker at Carolina Panel Company.

Shed - general storage

208 Williams Street, ca. 1970s, Contributing Building

Shed-roofed outbuilding with two entrances on the north elevation, plywood panel siding, and a metal roof. A two-bay flat-roofed metal carport extends to the north, while an open shed-roofed porch spans the distance between the storage shed and the house.

Shed - general storage

208 Williams Street, ca. 1970s, Contributing Building

Shed-roofed outbuilding with plywood panel siding and a metal roof situated close to the rear lot line.

J. Matthew and Letha B. Morgan House

210 Williams Street, ca. 1930, Contributing Building

One-and-one-half-story brick Period Cottage with a side-gable roof and two front-gable bays, the smaller of which projects slightly and encompasses a recessed, round-arch door; screened, recessed corner porch with large central brick arch flanked by two smaller arches on each elevation; wood casement windows and replacement sash, arched window in front gable, façade chimney with recessed arched panels, textured stucco on side gables, gabled rear wing, shed- and flat-roofed canopies shelter rear handicapped ramp. This house appears on the 1948 updates to the 1929 Sanborn map and was occupied by J. Matthew and Letha B. Morgan in 1937. Mr. Morgan was the proprietor of Morgan Barber Shop.

Garage

210 Williams Street, ca. 1930, Contributing Building

One-story German-sided garage with a front-gable roof and one open bay.

House

214 Williams Street, ca. 1920, Contributing Building

One-story wood-shingled Craftsman bungalow with a front-gable roof and a projecting gabled front porch supported by square posts on brick piers; 12/1 sash, projecting gabled bay on south elevation, brick end and interior chimneys, vertical strips of wood applied over the wood shingles in the gables, oversized triangular eave brackets, exposed rafter ends, small shed addition on north elevation. This house appears on the 1923 Sanborn map and was occupied by R. Leo and Edna H. Leonard in 1937. Mr. Leonard co-owned Leonard-Troutman Auto Service.

Shed - general storage

214 Williams Street, ca. 1920, Contributing Building

One-story, side-gable-roofed, weatherboarded shed with two board-and-batten doors on east elevation. The building is situated close to the rear lot line.

Garage

214 Williams Street, ca. 1940, Contributing Building

Two-story concrete block garage with a front-gable roof; 6/6 sash, single garage bay with roll-up door and a single-leaf entry sheltered by a shed-roofed hood with a scalloped cornice, asbestos siding on the upper level.

House

218 Williams Street, ca. 1920, Contributing Building

One-and-one-half-story Craftsman bungalow with a side-gable roof, a large clipped-front-gable dormer, and a wraparound porch supported by square posts on brick piers spanned by a wood railing; 4/1 sash, brick interior chimneys, wood-shingled gables, stepped false beams, exposed rafter ends, brick retaining wall at sidewalk. Although this house appears on the 1923 Sanborn map, the earliest city directory listing does not occur until 1947 when Richard E. Black lived here.

Shed - general storage

218 Williams Street, ca. 1950, Contributing Building

One-story weatherboarded shed with a front-gable roof and exposed rafter ends.

Garage

218 Williams Street, ca. 2000, Noncontributing Building

One-story garage with a front-gable roof, two bays with roll-up doors and vinyl siding.

WEST FIRST AVENUE

North Side

House

136 W. First Avenue, ca. 1920, Contributing Building

One-story hip-roofed bungalow with a gabled front porch supported by paneled square posts on brick piers spanned by a wood railing; 7/1 sash, entry with sidelights, brick interior chimney, vinyl siding and eave brackets. The house appears on the 1923 Sanborn map and was occupied by Charles and Eugenia A. Maus in 1937. Mr. Maus was the president of Maus, Inc. (women's clothing); Mrs. Maus was the secretary-treasurer.

Vacant Lot

Edgar and Dessie Timberlake House

140 W. First Avenue, ca. 1920, Contributing Building

Foursquare that had metal terra cotta tile shingles on the hip roofs of the house and front porch at the time of NR listing; partially-enclosed porch supported by square posts with a shed-roofed hood over entry, 9/1 sash, brick end chimney, vinyl siding. An asphalt shingle roof now shelters the house and the windows have been replaced with synthetic 9/1 sash. The house appears on the 1923 Sanborn map and was occupied by Edgar and Dessie Timberlake in 1925-26. Mr. Timberlake was the secretary-treasurer of the Piedmont Furniture Company.

A. Starling and Kathleen W. Johnson House

142 W. First Avenue, ca. 1949, Contributing Building

Two-story brick Colonial Revival with a side-gable roof, a projecting front-gable bay and a small, flat-roofed entry porch with a denticulated cornice, a slender Tuscan column and a Chippendale roof railing; 6/6 and 8/8 sash, vinyl-sided gables, attached front-gable garage on west side of façade, one-story sunporch with casement windows, a denticulated cornice and a Chippendale roof railing on southeast elevation. The house does not appear on the 1948 updates to the 1929 Sanborn map and was occupied by A. Starling and Kathleen W. Johnson in 1949-50. No occupation was listed for the Johnsons.

Vacant Lot

Joseph and Sadie Walser House

146 W. First Avenue, ca. 1920, Contributing Building

Two-story stuccoed Mediterranean Revival house with a hip roof and a gabled entry porch supported by Tuscan columns; 6/6 sash, entry with sidelights, hipped dormers on front and rear roof slopes, brick end chimneys, eave brackets, screened porch on east elevation, flat and shed-roofed additions on rear elevations. The house appears on the 1923 Sanborn map and was occupied by Joseph and Sadie Walser in 1925-26. Mr. Walser was a traveling salesman.

Garage

146 W. First Avenue, ca. 1920, Contributing Building

One-story hip-roofed garage with 6/6 sash, one open garage bay, wide German siding and exposed rafter ends.

South Side

House

117 W. First Avenue, ca. 1905, Contributing Building

Two-story Queen Anne with a front-gable roof and a projecting, two-story, gabled bay on the east elevation; wraparound porch with bracketed chamfered posts and a projecting gable over the porch entrance; 2/2 sash, original front door with two glazed panels, interior brick chimney, diamond-shaped gable vents, asbestos siding. This house appears on the 1916-17 city directory map; the 1913 Sanborn map does not cover this area of First Avenue. The earliest city directory reference occurs in 1925-26 when Charles and Kathryn Patterson lived here; Mr. Patterson was a manager with Western Union Telegraph Company.

Garage

117 W. First Avenue, ca. 1930, Contributing Building

Weatherboarded garage with a front-gable roof and a double-leaf door.

Joseph V. and Camilla P. Moffitt, Jr. House

119 W. First Avenue, ca. 1940, Contributing Building

Two-and-one-half-story German-sided Colonial Revival with a side-gable roof and a gabled entry porch with a vaulted ceiling and slender Ionic columns; 6/6 sash, entry with fanlight and sidelights, interior brick chimney, pedimented gable ends, flanking side porches with roof balustrades, one porch has been enclosed, shed dormers on front roof slope are later additions, shutters with bird-silhouette cut-out, one-story rear addition. Mr. Moffitt was a manager at Wenonah Lunch and an assistant secretary at Wenonah Cotton Mills.

Outbuilding - undetermined

119 W. First Avenue, ca. 1940, Contributing Building

One-story, side-gable-roofed, German-sided outbuilding with 6/6 sash, three single-leaf doors on the north elevation, and a brick stovepipe chimney.

Garage

119 W. First Avenue, ca. 1940, Contributing Building

One-story weatherboarded garage with a hip roof and one large open bay.

House

133 W. First Avenue, ca. 1900, Contributing Building

Two-story weatherboarded Queen Anne-Colonial Revival with a hip roof and projecting gabled bays with cut-away corners; wraparound porch with single and grouped Ionic columns spanned by a wood railing and a pediment over the porch entrance; 1/1 sash, double-leaf entry with glazed lights and a rectangular transom, interior brick chimneys, small dormer with pyramidal roof on front roof slope, arched vents in gables and gabled dormer, modified Palladian window grouping in center bay of second floor, gabled one-story rear wing. This house appears on the 1916-17 city directory map and was occupied by Emery and Lillie A. Raper in 1925-26. Mr. Raper was a co-owner of Raper and

Raper, attorneys at law.

Shed - general storage

133 W. First Avenue, ca. 1990s, Noncontributing Building

Prefabricated one-story shed with plywood sheathing, a metal roof, and an inset front porch.

Outbuilding - undetermined

133 W. First Avenue, ca. 2010, Noncontributing Building

One-story, weatherboarded, hip-roofed outbuilding with a shed-roofed canopy, a shed wing on the west elevation, and a wing with a small porch on the west elevation.

Robert L. and Ruth Green House

137 W. First Avenue, ca. 1930, Contributing Building

Two-story brick Colonial Revival with a side-gable roof, denticulated cornice, and a pedimented entry porch supported by grouped square posts; paired 6/6 sash, all-header segmental-arched panels above the façade's first-story windows, entry with sidelights, porch on south elevation enclosed with board-and-batten siding, brick end chimney. The full-width rear porch features slender Tuscan columns, a pedimented entrance bay, and, at the south end, a projecting hip-roofed section topped with a cupola. A wood board fence secures the rear yard. This house appears on the 1948 updates to the 1929 Sanborn map and was occupied by Robert L. and Ruth Green in 1937. Mr. Green was a co-owner of Pickett and Green. The Greens previously lived at 120 West First Avenue. Mildred Ann Raper remembers that this house cost \$7,500 to build in 1936.

Garage

137 W. First Avenue, ca. 1936, Contributing Building

Two-story brick garage apartment with a side-gable roof, two garage bays and 6/6 sash. Garage doors are assembled from wooden boards laid diagonally and feature wrought iron hinges.

Hillside

139 W. First Avenue, ca. 1854, 1920, Contributing Building

Two-story weatherboarded Greek Revival-Italianate house with a hip roof and bracketed eaves; wraparound porch with bracketed eaves and slender Doric columns; imposing, full-height, pedimented, Neoclassical portico with Doric columns and bracketed eaves; paired 4/4 sash, entry with Greek Revival surround and sidelights, second floor balcony with turned balustrade, interior brick chimneys, large addition on rear elevation. The porch appears to be an early twentieth century addition and appears on the 1923 Sanborn map. The rear addition, constructed around 2000, is extremely similar in design to the original section. The earliest city directory reference occurs in 1925-26 when Ferdinand and Carrie Watson occupied the house. Mr. Watson was a traveling salesman. The original owners were Mr. and Mrs. Bunwell B. Roberts, according to the SHPO survey file on the dwelling (DV 546). The house originally stood at the terminus of West First Avenue, and was cut in half and moved in 1919. This dwelling is one half; the other half faced West Second Avenue and is no longer extant. The house name and date appear on a plaque outside the dwelling.

Garage

139 W. First Avenue, ca. 1980s, Noncontributing Building

One-story, front-gable-roofed, German-sided garage.

House

141 W. First Avenue, ca. 1927, Contributing Building

One-and-one-half-story brick Craftsman bungalow with a side-gable roof and a very large gabled dormer; 6/6 sash, entry with sidelights sheltered by a bracketed hood, interior brick chimneys, projecting gabled bay on south elevation, false half-timbering and stucco in the gables, eave brackets, screened porch with brick posts at southeast corner. A dry-laid stone retaining wall separates the lawn from the sidewalk. This house appears on the 1929 Sanborn map and was occupied by Edward and Frances H. Layden in 1937. Mr. Layden was a pharmacist at Lexington Drug Company.

Garage

141 W. First Avenue, ca. 1927, Contributing Building

One-story weatherboarded garage with a front-gable roof; illustrated with the house on the 1929 Sanborn map.

W. Clifton and Jennie E. Pickett House

143 W. First Avenue, ca. 1920, Contributing Building

One-and-one-half-story side-gable bungalow with a large gabled dormer and a wraparound porch supported by robust Doric columns on brick piers spanned by a wood railing; original grouped 8/1 sash at the time of NR listing have been replaced with 4/1 sash, single-leaf entry with sidelights, interior brick chimneys, porte cochere on south elevation, vinyl siding and eave brackets. A black metal fence secures the yard. This house appears on the 1923 Sanborn map. Mr. Pickett was a co-owner of Pickett and Green.

WEST SECOND AVENUE

North Side

House

116 W. Second Avenue, ca. 1927, Contributing Building

Two-story German-sided Colonial Revival with a side-gable roof and a hip-roofed entry porch supported by grouped square posts; 6/6 and 8/8 sash, brick interior chimney, one-story, hip-roofed, screened porch on southeast elevation. The house appears on the 1929 Sanborn map and was occupied by Ruth R. Delapp, widow of Cliff L., in 1947-48.

Baxter C. and Isabel C. Young House

200 W. Second Avenue, ca. 1945, Contributing Building

Two-story brick Colonial Revival with a side-gable roof and a full-height flat-roofed portico supported by fluted aluminum columns; 8/8, 8/12 and 12/16 sash, brick end chimneys, shed-roofed sunporch on

east elevation, one-story, shed-roofed, vinyl-sided rear wing. A short gabled hyphen connects the house to the side-gable-roofed, vinyl-sided, three-bay garage. The house was occupied by Baxter C. and Isabel C. Young in 1947-48. Mr. Young owned the Buck Young Oil Company.

Garage

200 W. Second Avenue, ca. 1945, Contributing Building

One-story side-gable garage with three open bays and vinyl siding.

House

206 W. Second Avenue, ca. 1980, Noncontributing Building

One-story brick house with a hip roof, projecting front-gable wings at either end of the façade and a recessed porch supported by square posts; matching porte cochere extends from south elevation, 8/8 and 8/12 sash, wood siding under porch, brick interior chimney, round gable vents, gabled rear sunporch,

Greenhouse

206 W. Second Avenue, ca. 1990s, Noncontributing Building

One-story, gable-roofed, plywood-panel sheathed greenhouse.

House

218 W. Second Avenue, ca. 1980, Noncontributing Building

Side-gable-roofed house with a one-and-one-half-story central block flanked by one-story wings and a recessed porch supported by square posts; 6/6 and 9/9 sash, two gabled dormers, vinyl siding. An earlier house in this location appears on the 1916-17 city directory map and was occupied by B. Parks and Bertie McCurdy in 1925-26. Mr. McCurdy was the co-owner of McCurdy's Shoe Store.

House

220 W. Second Avenue, ca. 1915, Noncontributing Building

Heavily altered two-story house with a gable-on-hip roof, a projecting two-story central bay addition on the façade, and a gabled entry porch supported by square posts spanned by a Chippendale railing; replacement sash, stuccoed foundation, vinyl siding, rear addition, screened porch connects house to a one-story front-gable-roofed garage. A wood picket and a taller wood board fence enclose the west yard. The house appears on the 1916-17 city directory map and was occupied by John and Mary Allen in 1925-26. Mr. Allen was the principal of Lexington High School.

William W. and Sadie L. Woodruff House

300 W. Second Avenue, ca. 1920, Contributing Building

Two-story brick Mediterranean Revival with a green-tiled hip roof, a gabled entry porch supported by Tuscan columns and a front patio with brick posts spanned by a wood balustrade; original 6/1 sash have been replaced with 6/1 sash with a UV tint since 2005, entry with sidelights and fanlight, screened porch on southeast elevation, one-story rear gabled addition; brick end chimney, eave brackets, one-story rear addition. The house appears on the 1923 Sanborn map and was occupied by

William W. and Sadie L. Woodruff in 1925-26. Mr. Woodruff owned Woodruff's Shoe Store.

Garage

300 W. Second Avenue, ca. 1920, Contributing Building

One-story, brick, Mediterranean Revival-style, two-bay garage with a green-tiled hip roof and eave brackets. The garage appears on the 1923 Sanborn map.

John H. and Minnie Mattison House

302 W. Second Avenue, ca. 1920, Contributing Building

One-and-one-half-story weatherboarded bungalow with a cross-gable roof and a hip-roofed front porch with a central gable, substantial Tuscan columns on stone piers and square stone corner posts spanned by a wood railing; arched window flanked by louvered vents in the front gable, original 12/1 and 6/1 sash have been replaced with faux-divided-light/1 sash with a UV tint since 2005, stone foundation, brick end and interior chimneys, projecting gabled bays on side elevations, triangular eave brackets. The house appears on the 1923 Sanborn map and was occupied by John H. and Minnie Mattison in 1925-26. Mr. Mattison was the superintendent of Dacotah Mills.

House

304 W. Second Avenue, ca. 1920, Contributing Building

One-and-a-half and two-story L-plan house with a shed-roofed front porch supported by square fluted posts; replacement sash, entry with arched surround, brick interior chimney, vinyl siding. The house appears on the 1923 Sanborn map, was vacant in 1925-26, and was occupied by Charles E. Williams in 1937.

N. Earl and Daphne Rose House

306 W. Second Avenue, ca. 1920, Contributing Building

Craftsman Foursquare with a hip roof, a gabled dormer, and a shed-roofed porch supported by square paneled posts on brick piers spanned by a wood railing; grouped 9/1 and 6/1 sash, entry with wide twelve-pane sidelights, weatherboards on the first story and wood shingles on the second, eave brackets, brick interior chimneys, modern wood picket fence encloses rear yard. The house appears on the 1923 Sanborn map and was occupied by N. Earl and Daphne Rose in 1925-26. Mr. Rose was a foreman at the Fred O. Sink Printing House.

Shed - general storage

306 W. Second Avenue, ca. 1980s, Noncontributing Building

Prefabricated gambrel-roofed frame storage shed.

Thomas and Carrie Mock House

402 W. Second Avenue, ca. 1920, Contributing Building

One-and-one-half-story weatherboarded bungalow with a side-gable roof, a large gabled dormer and an engaged front porch supported by grouped, paneled, square posts on brick piers spanned by a wood railing; 4/1 sash, brick end and interior chimneys, wood-shingled gables, stepped false beams in

gables; wood rear deck. A wood picket fence encloses rear and south yards, encompassing a second lot. The house appears on the 1923 Sanborn map and was occupied by Thomas and Carrie Mock in 1925-26. Mr. Mock was the manager of Woodrow McKay.

Shed - general storage

402 W. Second Avenue, ca. 2010, Noncontributing Building

Long, narrow, one-story, side-gable-roofed, plywood-panel-sheathed shed.

William F. and Edna Sparger House

404 W. Second Avenue, ca. 1920, Contributing Building

Foursquare with a hipped dormer and a hip-roofed porch supported by substantial Tuscan columns spanned by a wood railing; 6/1 sash, with pastel-colored glass panes in the dormer windows' upper sash; entry with multi-pane sidelights and transom, weatherboards on the first story and wood shingles on the second, deep eaves with curved brackets, one-story hip-roofed rear addition with screened porch. The house appears on the 1923 Sanborn map and was occupied by William F. and Edna Sparger in 1925-26. Mr. Sparger was the secretary-treasurer of Dixie Furniture Company.

Garage

404 W. Second Avenue, ca. 1970s, Noncontributing Building

One-story side-gable garage with a roll-up door, a single-leaf entry, and an attached three-bay carport supported by metal posts.

House

406 W. Second Avenue, ca. 1920, Contributing Building

One-and-one-half-story weatherboarded bungalow with a side-gable roof and a gabled front porch supported by tapered posts on brick piers spanned by a wood railing; 4/1 sash, brick interior chimneys, projecting shed-roofed bay on south elevation, wood-shingled gables, triangular eave brackets, rear shed dormer, screened rear porch. A wood picket fence encloses the rear yard. The house appears on the 1923 Sanborn map and was occupied by Walter L. and Davis Dabbs in 1937. Mr. Dabbs was the manager of the A&P Tea Company.

Shed - general storage

406 W. Second Avenue, ca. 1920, Contributing Building

One-story, German-sided outbuilding with a metal shed roof.

House

408 W. Second Avenue, ca. 1920, Contributing Building

One-and-one-half-story side-gable bungalow with a large clipped-front-gable dormer and a recessed front porch supported by square posts on brick piers spanned by a wood railing; replacement 1/1 sash, entry with sidelights and transom, brick interior chimneys, projecting bay on the north elevation, porte cochere on the south elevation, vinyl German siding, gabled one-story rear addition as well as a large rear two-bay garage addition. A wood lattice fence extends down the south lot line. The house appears

on the 1923 Sanborn map and was occupied by Jacob and Elizabeth Sowers in 1925-26. Dr. Sowers was a physician.

Outbuilding - undetermined

408 W. Second Avenue, ca. 1920, Contributing Building

One-story, front-gable-roofed outbuilding with a gabled front porch, 6/6 sash, vertical board siding, and a metal roof

House

500 W. Second Avenue, ca. 1915, Contributing Building

One-and-one-half-story weatherboarded Queen Anne cottage with a large gabled dormer and a pyramidal hip roof with projecting gabled side and rear bays; wraparound porch with Tuscan columns spanned by a wood railing across the façade; replacement sash, brick interior chimneys with corbelled stacks. The porch's floor system has been removed at the south end, leaving Tuscan columns supported by short brick piers on the side. A brick walk spans the distance between the columns. The house appears on the 1916-17 city directory map and was occupied by O. Klutz and Ola Sharpe in 1925-26. Mr. Sharpe was the assistant manager of the Erlanger Community Club.

Outbuilding - undetermined

500 W. Second Avenue, ca. 1990s, Noncontributing Building

One-story, gable-roofed, weatherboarded outbuilding with large multi-pane façade windows, a salvaged door, and Tuscan columns supporting the front porch, which has a wood-shingled pediment. An open shed extends from the west elevation.

Dan E. and Nell L. Ayers House

502 W. Second Avenue, ca. 1957, Noncontributing Building

At the time of the 2005 National Register listing, this was a one-story weatherboarded Ranch with a side-gable roof, 6/6 and 8/8 sash, a recessed entry, and a brick interior chimney. Since that time, the windows have been replaced, vinyl siding and a denticulated cornice added, and a large front porch with vinyl "shakes" in the front gable, robust tapered columns, and a brick-lined concrete floor constructed. The house does not appear on the 1948 updates to the 1929 Sanborn map and was occupied by Dan E. and Nell L. Ayers in 1957-58. Mr. Ayers was a sheet metal worker.

K. Parks and Virginia D. Easter House

504 W. Second Avenue, ca. 1955, Contributing Building

One-story brick Ranch with a side-gable roof; 2/2 horizontal and picture windows, brick interior chimney. The house does not appear on the 1948 updates to the 1929 Sanborn map and was occupied by K. Parks and Virginia D. Easter in 1955-56. Mr. Easter owned the Army-Navy Store.

Garage

504 W. Second Avenue, ca. 1955, Contributing Building

One-story, side-gable-roofed, weatherboarded garage with 6/6 sash and exposed rafter ends.

House

506 W. Second Avenue, ca. 1920, Noncontributing Building

Heavily altered one-story bungalow with a side-gable roof and a replacement gabled entry porch supported by large square posts and Tuscan columns; replacement sash, picture windows added to the facade, projecting gabled bay on north elevation, enclosed rear porch, hip-roofed rear addition, vinyl German siding. The house appears on the 1923 Sanborn map and was occupied by Hayden C. and Lila C. Hooper in 1937. Mr. Hooper was the officer manager of the Peerless Mattress Company.

Vacant Lot**South Side****House**

117 W. Second Avenue, ca. 1920, Contributing Building

Brick Foursquare with a hip roof and a hip-roofed front porch supported by battered brick posts spanned by a brick kneewall; 1/1 sash, brick interior chimneys, exposed rafter ends. This house appears on the 1923 Sanborn map and was occupied by John G. and Nannie Hitchcock in 1925-26. Mr. Hitchcock was the vice president of the Lexington Home Building and Loan Association.

Jacob Leonard House

119 W. Second Avenue, ca. 1930, Contributing Building

Two-story side-gable-roofed house with a front-gable bay and a flat-roofed entry porch supported by a square post; Classical entrance surround with fluted pilasters and a denticulated cornice, rectangular four-light transom above door, 6/6 sash, brick interior and end chimneys, asbestos siding, one-story brick addition on façade, rear shed-roofed sunporch. This house replaced an earlier dwelling at this location.

Garage

119 W. Second Avenue, ca. 1930, Contributing Building

One-story weatherboarded garage with a hip roof and a shed-roofed storage room.

Joseph V. and Maie Moffitt House

201 W. Second Avenue, ca. 1920, Contributing Building

Two-story brick Neoclassical Revival house with a side-gable green tile roof and a semi-circular portico supported by Ionic columns; single and paired 6/6 sash, patterned brick arches over the central sections of the tripartite windows that flank the portico on the first floor façade, Palladian window in center bay on second floor, three gabled dormers with arched windows, entry with sidelights and fanlight, brick end chimneys, flat-roofed side porches with Ionic columns, one porch has been enclosed as a sun room, continuous pent roofs and arched windows on gable ends; outstanding example of Neoclassical Revival design. This dwelling appears on the 1923 Sanborn map and was occupied by Joseph V. and Maie Moffitt in 1925-26. Mr. Moffitt was the proprietor of Peerless Mattress Company,

the vice president of Material Building and Loan Association, vice president of Lexington Hardware Corporation and the secretary-treasurer of Wennonah Mills.

Garage

201 W. Second Avenue, ca. 1920, Contributing Building

One-and-one-half-story brick garage with a side-gable roof; two bays, garage doors with glazed panels, two dormers with arched windows, green tile roof, deep eaves with modillions; matches house and appears on the 1923 Sanborn map.

House

203 W. Second Avenue, ca. 1927, Contributing Building

Two-story stone (a combination of rubble and cut) Colonial Revival with a side-gable slate roof and a stone entry porch with battered posts, a segmental-arch opening, and a metal roof balustrade; matching porch, now enclosed as a sunporch, extends from south elevation; 6/6 sash, entry with sidelights and transom, stone end chimney, arched window openings on façade's first story and the other elevations, deep eaves with cornice returns, one-story rear wing with very tall chimney stack. This house appears on the 1929 Sanborn map and was occupied by Pearl Moffitt in 1937. Ms. Moffitt had no occupation listed in the city directory.

Garage

203 W. Second Avenue, ca. 1927, Contributing Building

One-story rusticated concrete block garage with a stone and slate pent roof façade to match house; otherwise flat roof slopes to the rear; two garage bays with wooden doors comprised of paneled lower sections and multi-pane upper sections; appears on the 1929 Sanborn map.

Pergola

203 W. Second Avenue, ca. 2000s, Noncontributing Building

Two stone posts spanned by a two wood boards.

James F. and Flossie Spruill House

205 W. Second Avenue, ca. 1925, Contributing Building

Two-story brick Mediterranean Revival house with a tiled hip roof and a full-height pedimented portico supported by fluted Corinthian columns; 6/1 sash, entry with sidelights and fanlight, fanlights over tripartite windows on the façade, built-in window boxes beneath second floor windows, second story balcony beneath portico, brick end chimney, deep bracketed eaves, one-story sunporch on west elevation. This house appears on the 1929 Sanborn map and was occupied by James F. and Flossie Spruill in 1925-26. Mr. Spruill was a co-owner of Spruill and Olive, attorneys-at-law. The HPO survey file for this dwelling refers to it as the Craven House, but does not explain the origins of that name.

Garage

205 W. Second Avenue, ca. 1925, Contributing Building

One-story, German-sided, hip-roofed garage with exposed rafter ends and sliding doors comprised of

multi-pane upper sections and paneled lower sections.

Garage

205 W. Second Avenue, ca. 2010, Noncontributing Building

One-story, frame, hip-roofed garage with a standing-seam metal roof.

House

207 W. Second Avenue, ca. 1927, Contributing Building

Two-story brick Colonial Revival with a side-gable slate roof and a partial-width front porch with paired square posts that extends to a porte cochere on the south end; wood casement windows, arched front door, brick end chimneys, one-story sun porch with arched transoms over windows on north elevation, two-story garage/apartment attached at an angle to rear elevation; similar in plan and fenestration to Mediterranean Revival house at 209 West Second Avenue. This house appears on the 1929 Sanborn map and was occupied by T. Vertie and Euilla Kirkman in 1937. No occupations were listed for the Kirkmans.

Playhouse

207 W. Second Avenue, ca. 1990s, Noncontributing Building

Elevated plywood-panel-sheathed playhouse with wood exterior stairs that turn at a landing and continue to the front porch.

Cabell and Daisy Philpott House

209 W. Second Avenue, ca. 1927, Contributing Building

Two-story brick Mediterranean Revival with a tiled hip roof; north side of façade projects slightly; wood casement windows when NR listed, Palladian window in central second-floor bay below gabled parapet, recessed entry with sidelights and transom, brick end and interior chimneys, stuccoed arches above French doors on south side of façade, side porch with arched openings on west elevation. The original windows have been replaced and a roll-up door installed in the rear garage wing, which is flanked by concrete patios. A black metal fence secures the rear yard. This house appears on the 1929 Sanborn map and was occupied by Cabell and Daisy Philpott in 1937. Mr. Philpott was the president of United Furniture Corporation and the president of Industrial Building and Loan Association. The Philpotts previously resided at 305 West Second Avenue. The HPO survey file states that the Philpotts built this dwelling.

Joseph and Irma Leonard House

215 W. Second Avenue, ca. 1927, Contributing Building

Foursquare with a hip roof and a partially-enclosed wraparound porch with paneled square posts and a denticulated cornice; 6/6 sash in porch enclosure, replacement 1/1 sash elsewhere; entry with multi-pane sidelights, brick interior chimneys, porte cochere on north elevation, shed and gable-roofed rear additions, vinyl siding, rear screened porch. This house, which replaces an earlier one-story dwelling at this location, appears on the 1929 Sanborn map. Mr. Leonard was a furniture dealer.

Apartment

215 W. Second Avenue, ca. 1970s, Noncontributing Building

One-story, side-gable-roofed, vinyl-sided apartment with engaged front porch, 1/1 sash, and brick stovepipe chimney.

House

217 W. Second Avenue, ca. 1915, Contributing Building

One-and-one-half-story weatherboarded bungalow with a clipped-side-gable roof and a large matching dormer; clipped-side-gable porch engaged on the front and supported by square paneled posts spanned by a modern wood railing; 6/6 sash, entry with sidelights and transom, brick interior chimneys with tall stacks, projecting one-story gabled wing on south elevation. This house appears on the 1916-17 city directory map and was occupied by L. R Hunt and his children, Katherine and Helen, in 1925-26. No occupation was listed for Mr. Hunt.

G. Arthur and Maggie Thomason House

219 W. Second Avenue, ca. 1948, Contributing Building

Two-story stone Colonial Revival with a side-gable roof and Classical entrance surround with pilasters and entablature; 8/8 sash, soldier courses and keystones over door and windows on first floor of façade, enclosed porch on north elevation, vinyl-sided rear addition encompasses a two-bay garage attached by an open breezeway. This house appears on the 1948 updates to the updates to the 1929 Sanborn map and replaced a smaller one-story dwelling at this location. Mr. Thomason was a contractor.

James M. and Bert F. Daniel House

301 W. Second Avenue, ca. 1920, Contributing Building

One-and-one-half-story side-gable bungalow with a gabled entry porch supported by square paneled posts; one-story gabled wing projects from south elevation, full-width rear shed dormer, gabled rear addition, vinyl replacement windows, brick interior chimney, triangular eave brackets, vinyl siding, vinyl shingles in porch gable. A vertical board wood fence secures the yard. This house appears on the 1923 Sanborn map and was occupied by James M and Bert F. Daniel in 1925-26. Mr. Daniel was an attorney.

Playhouse

301 W. Second Avenue, ca. 2000, Noncontributing Building

Hip-roofed playhouse with vinyl siding.

Garage

301 W. Second Avenue, ca. 2000, Noncontributing Building

One-story side-gable vinyl-sided garage with two bays, roll-up doors, and a west wing with a front porch and a 5-V crimp metal roof.

Earl and Connie Holmes House

303 W. Second Avenue, ca. 1920, Contributing Building

Craftsman Foursquare with a hip-roofed porch with square posts on brick piers spanned by a wood railing and a central gable; 9/1 sash, sidelights at entry, brick interior and end chimneys, wood shingles above second floor window sills, deep bracketed eaves, gabled dormer with attic vent on front roof slope, hip-roofed bay projects from south elevation, porte cochere on north elevation, rear porch screened with lattice. This house appears on the 1923 Sanborn map. Mr. Holmes was an agent but the city directory does not say with what company or business.

House

305 W. Second Avenue, ca. 1915, Contributing Building

One-and-one-half-story weatherboarded Colonial Revival with a side-gable roof and a pedimented entrance porch with paired Tuscan columns and a starburst panel in the front gable; 16/1, 9/1 and 6/1 sash, entry with multi-pane sidelights, brick interior chimney, pedimented gable ends, triangular eave brackets, bay window on south elevation. This house appears on the 1916-17 city directory map and was occupied by B. Cabell and Daisy Philpott in 1925-26. Mr. Philpott was the president of United Furniture Company.

Garage

305 W. Second Avenue, ca. 1920, Contributing Building

One-story weatherboarded garage with a hip roof and a roll-up door; shown on the 1923 Sanborn map.

Leon B. & Rheba B. Rains House

309 W. Second Avenue, ca. 1930, Contributing Building

One-and-one-half-story Craftsman bungalow with a clipped-side-gable roof, a large clipped-front-gable dormer and a recessed front porch supported by square posts on brick piers spanned by a wood railing; 6/1 sash, entry with transom, projecting hip-roofed bays on north and south elevations, porte cochere on south elevation, one-story rear shed addition, vinyl siding. This house appears on the 1916-17 city directory map and was occupied by Thomas J. and Mayme Taylor in 1925-26. Mr. Taylor was the president of W. G. Penry Company, a department store.

Garage

309 W. Second Avenue, ca. 1915, Contributing Building

One-story weatherboarded garage with a front-gable roof, one large open bay and a plywood-panel-sheathed shed addition; illustrated on 1923 Sanborn map.

House

401 W. Second Avenue, ca. 2000, Noncontributing Building

One-and-one-half-story brick Neo-Colonial Revival house with a side-gable roof, three gabled dormers and a hip-roofed front porch supported by Tuscan columns; vinyl sash, entry with sidelights and transom, flat keystoned lintels over all first-floor windows; rear two-bay attached garage. A low vertical board fence secures the rear yard.

Outbuilding - undetermined

401 W. Second Avenue, ca. 2000, Noncontributing Building

One-story, front-gable-roofed, plywood-panel sheathed outbuilding with a hip-roofed front porch supported by square posts and 6/6 sash.

House

403 W. Second Avenue, ca. 1910, Contributing Building

One-story Queen Anne cottage with gabled bays projecting from the hip roof and a shed-roofed front porch supported by slender tapered posts on brick piers; 9/1 sash, wood-shingled gables, rear gabled wing and enclosed shed porch, vinyl siding. This house appears on the 1916-17 city directory map and was occupied by Joseph K. and Lillie Cecil in 1925-26. Mr. Cecil was a contractor.

Garage

403 W. Second Avenue, ca. 1920, Contributing Building

One-story German-sided garage with a front-gable roof, one open bay, and a rear shed addition; appears on 1923 Sanborn map.

House

405 W. Second Avenue, ca. 1910, Contributing Building

One-story weatherboarded Queen Anne cottage with a hip roof pierced by a large gabled dormer; projecting façade and south elevation bays with wood-shingled gables and deep cornice returns; cut-away corners on façade bay, front porch supported by Doric columns spanned by a wood railing, replacement 1/1 sash, brick interior chimneys, rear shed rooms. This house appears on the 1916-17 city directory map and was occupied by Harold and Connie Willis in 1925-26. Mr. Willis was an employee of United Furniture Company.

Roy and Myrtle McCurdy House

407 W. Second Avenue, ca. 1927, Contributing Building

One-and-one-half-story side-gable bungalow with a large shed dormer and a flat-roofed front porch supported by square posts on brick piers spanned by a metal pipe railing; 1/1 sash, entry with sidelights, brick interior chimneys, porte cochere on north elevation, vinyl replacement windows in dormer, vinyl siding, rear wood deck and pergola. This house appears on the 1929 Sanborn map. Mr. McCurdy was the owner of McCurdy's Shoe Shop.

Garage

407 W. Second Avenue, ca. 1927, Contributing Building

One-story weatherboarded garage with a side-gable roof and two garage bays; appears on the 1929 Sanborn map.

James W. and Mary Crouse House

409 W. Second Avenue, ca. 1952, Contributing Building

Two-story brick Colonial Revival with a hip roof; replacement 8/8 sash windows, brick end and

interior chimneys, and a recessed entry with a canted paneled surround, smooth pilasters, and a denticulated cornice surmounted by a metal balustrade. A brick patio with a metal railing extends from the façade and a hip-roofed wing and a screened porch from the rear elevation. Mr. Crouse owned Crouse's Shoe Repair.

Garage

409 W. Second Avenue, ca. 1952, Contributing Building

One-story, hip-roofed, two-bay, brick garage with roll-up doors.

Ezra L. and Ida Myers House

501 W. Second Avenue, ca. 1920, Contributing Building

One-and-one-half-story weatherboarded bungalow with a side-gable roof, a large gabled dormer and an engaged porch supported by square posts on brick piers spanned by a wood railing; replacement windows, brick interior chimneys, triangular eave brackets. A series of gabled additions and a wood deck extend from the rear elevation. A vertical board fence encloses the north side yard. This house appears on the 1923 Sanborn map and was occupied by Ezra L. and Ida Myers in 1925-26. Mr. Myers was a manager at Efird's Department Store.

Garage

501 W. Second Avenue, ca. 1950, Contributing Building

One-story, pyramidal-hip-roofed, rusticated concrete block garage with a partially enclosed garage bay.

Carl S. and Lucile Leonard House

503 W. Second Avenue, ca. 1927, Contributing Building

One-story front-gable bungalow with an enclosed front porch; paired 8/8 sash and French door with sidelights across facade, replacement windows, projecting gabled bay on north elevation, stepped false beams in gables, asbestos and aluminum siding, brick chimneys, attached carport on east elevation. Brick steps flanked by a brick retaining wall provide access from the sidewalk to a flagstone walk leading to the front steps. The house appears on the 1929 Sanborn map. Mr. Leonard owned Leonard and Wagner Tire Service.

Garage

503 W. Second Avenue, ca. 1927, Contributing Building

One-story German-sided garage with a front-gable roof; accessed via rear alley.

Duplex

505 W. Second Avenue, ca. 1950, Contributing Building

One-story hip-roofed duplex with a hip-roofed entry porch supported by replacement wood posts spanned by a wood "deck-style" railing; a gabled rear addition, vinyl windows, narrow vinyl German siding, and rear wooden decks. The duplex does not appear on the 1948 updates to the 1929 Sanborn map, but the address is listed in the 1949-1950 city directory.

Charles and Addie Swing House

507 W. Second Avenue, ca. 1927, Contributing Building

One-story side-gable bungalow with a wraparound porch with a large front-gable section and tapered, paneled posts on brick piers spanned by a metal pipe railing; hip-roofed rear wing; 4/1 sash, entry with sidelights, lunette window in front gable, projecting gabled bay on side elevations, pedimented gables, aluminum siding, wood lattice screens the porch ends, brick end and interior chimneys. This house appears on the 1929 Sanborn map and its street number was originally 215. Mr. Swing owned Lexington Auto Repair Company.

House

509 W. Second Avenue, ca. 2005, Noncontributing Building

Two-story front-gable-roofed house with a projecting front-gable bay and a wraparound porch supported by Tuscan columns; vinyl windows, vinyl siding, solid-panel vinyl fence.

Phillip and Lyndol Head House

601 W. Second Avenue, ca. 1953, Contributing Building

One-story-on-basement brick Ranch with a side-gable roof and a recessed porch supported by square brick and wood posts spanned by a metal railing; 2/2 horizontal and picture windows, brick end and interior chimneys, vinyl-sided gables, basement garage, shed-roofed rear screened porch. The house does not appear on the 1948 updates to the 1929 Sanborn map and was occupied by Phillip and Lyndol Head in 1953-54. Mr. Head was a policeman.

THIRD AVENUE

North Side

Albert E. and Jennie Sheets House

100 W. Third Avenue, ca. 1920, Contributing Building

Two-story weatherboarded Colonial Revival with a side-gable roof and a recessed entry surmounted by a fanlight and a slightly projecting bonnet hood; 6/6 and casement windows, projecting shed-roofed bay on north elevation, shed-roofed screened porch supported by paired square posts on south elevation, end chimney with corbelled stack, wrought iron fence. The house appears on the 1923 Sanborn map and was occupied by Albert E. and Jennie Sheets in 1925-26. Mr. Sheets was a jeweler.

Garage

100 W. Third Avenue, ca. 2010, Noncontributing Building

One-story weatherboarded garage with a low front-gable roof and one wide bay with a roll-up

House

102 W. Third Avenue, ca. 1910, Noncontributing Building

Heavily altered two-story weatherboarded house with an altered hipped roof, a projecting hipped bay on the west side of the façade, and an enclosed sleeping porch on the east side of the second story; Queen Anne/1 and replacement 1/1 sash, circa 1950 shed-roofed entry porch supported by a metal post, wood shingles on second story, brick piers infilled with brick to form a continuous foundation, one-story rear shed addition. The house appears on the 1916-17 city directory map and was occupied by William F. and Augusta Harris in 1925-26. Mr. Harris was the manager of the Lexington Telephone Company.

James and Mary Bell Adderton House

104 W. Third Avenue, ca. 1920, Contributing Building

Two-story brick Dutch Colonial Revival with a gambrel roof and a long shed weatherboarded dormer across the façade; 4/1 and 6/1 sash, fanlight and pedimented surround at entry, screened pergola with robust posts on south elevation, brick end chimneys, slate roof. The house appears on the 1923 Sanborn map and was occupied by James and Mary Bell Adderton in 1925-26. Mr. Adderton was a cashier at the Commercial Savings Bank.

Carport

104 W. Third Avenue, ca. 1950, Contributing Structure

Side-gable-roofed carport with two bays supported by round posts on a concrete pad; enclosed brick-veneered room at south end.

Sara W. Philpott House

116 W. Third Avenue, ca. 1951, 2009, Contributing Building

Two-story brick Colonial Revival with a side-gable roof and a projecting, full-height, central gabled

bay; 6/6, 9/6 and 8/8 sash surmounted by segmental arches, entry with sidelights and transom, shed-roofed entry hood with central gable, gabled two-story brick rear wing; end chimneys with corbelled stacks. Dan Smith designed the hip-roofed two-story frame rear addition erected in the summer of 2009 to replace a screened porch removed due to foundation failure. Sara W. Philpott was the widow of Benjamin C. Philpott. The Smiths purchased the home in December 2008 and have the original plans created by Winston-Salem architect William Roy Wallace's firm.⁴

Garage

116 W. Third Avenue, ca. 1951, Contributing Building

Side-gable-roofed, two-bay, aluminum-sided garage with roll-up doors.

John M. and Margaret P. Moore House

118 W. Third Avenue, ca. 1938, 2000, Contributing Building

Two-story brick Colonial Revival with a hip roof and a projecting, one-story, German-sided, central gabled entrance bay; 8/8 sash, interior chimney with corbelled stack, enclosed porch on north elevation. An open breezeway connects the one-story gabled rear addition to a one-story, front-gable, two-bay garage erected in 2000. A matching playhouse with a shallow inset front porch stands in the rear yard, which is enclosed by a black metal fence. The house, designed by Winston-Salem architect William Roy Wallace, appears on the 1948 updates to the 1929 Sanborn map and was occupied by the Moores shortly after completion. According to the current owner, Mr. Moore was an attorney and a co-owner of Dacotah Cotton Mills.

Brantley H. and Mary P. Finch House

200 W. Third Avenue, ca. 1920, Contributing Building

Two-story weatherboarded Colonial Revival with a hip roof, two hipped dormers and a gabled entry porch supported by paired square posts; 6/6 and 12/12 sash, entry surmounted by fanlight, flat-roofed sunporch on south elevation and screened porch on north elevation, brick end chimney, slate roof. A low brick retaining wall surrounds the front patio and planting beds. A one-story, hip-roofed, frame, three-bay garage extends from the rear elevation and a black metal fence encloses the rear yard. The house appears on the 1923 Sanborn map and was occupied by Brantley H. and Mary P. Finch in 1925-26. Mr. Finch was vice president of Mutual Building and Loan Association and secretary-treasurer of Lexington Grocery.

Ira S. and Marguerite Brinkley House

202 W. Third Avenue, ca. 1925, Contributing Building

Two-story, three-bay, weatherboarded Colonial Revival with a red terra-cotta-tiled side-gable roof, prominent entablatures crowning the lower façade windows and a pediment over the entry supported by Tuscan columns; 6/6 sash, multi-paned transom over front door, flat-roofed sunporch on south elevation, one-story hip-roofed rear wing, brick end chimney. The house appears on the 1929 Sanborn map and was occupied by Ira S. and Marguerite Brinkley in 1925-26. Mr. Brinkley was a salesman with J. F. Ward and Company.

⁴ Dan Smith, email correspondence with Heather Fearnbach, March 27, 2013, and April 21, 2013.

Garage

202 W. Third Avenue, ca. 2010, Noncontributing Building

The one-story, hip-roofed, circa 1925 garage that matched the house has been demolished since 2005 and a side-gable-roofed, vinyl-sided, two-bay garage with a gabled portico on its west elevation constructed.

William and Edith Burgin House

206 W. Third Avenue, ca. 1920, Contributing Building

Two-story brick Colonial Revival with a side-gable slate roof and a gabled entry porch supported by grouped, fluted Tuscan columns; slate pent roof wraps around the first story; 6/6 sash, leaded glass sidelights and transom at entry, brick interior chimney, enclosed south porch with grouped fluted Tuscan columns, slate pent roof, and a metal roof balustrade. Wood lattice encloses one side of the simpler rear porch. Textured brick retaining wall with built-in drain; brick steps with metal railings lead from the sidewalk the front walk. The house appears on the 1923 Sanborn map and was occupied by William and Edith Burgin in 1925-26. Mr. Burgin was an attorney.

Outbuilding - undetermined

206 W. Third Avenue, ca. 1920, Contributing Building

One-story weatherboarded outbuilding with a pyramidal hip roof topped with a turned wood finial.

Garage

206 W. Third Avenue, ca. 1920, Contributing Building

One-story brick two-bay garage with a front-gable roof pierced by an oculus and double-leaf wood garage doors with eight glazed lights over three panels.

Carroll M. and Maurine Wall House

208 W. Third Avenue, ca. 1920, Contributing Building

Two-story weatherboarded Dutch Colonial Revival with a gambrel roof and a long shed dormer across the façade; 6/6 sash, slightly recessed entry sheltered by an arched hood, flat-roofed porch with robust columns on north elevation, flat-roofed sunporch on south elevation, one-story rear wing with corner porch enclosed with wood lattice, brick interior and end chimneys. A wooden rear deck has been added. A low brick retaining wall lines the sidewalk. The house appears on the 1923 Sanborn map and was occupied by Carroll M. and Maurine Wall in 1925-26. Mr. Wall was co-owner of C.M. Wall and Son (manufacturers of box shooks and lumber).

Garage

208 W. Third Avenue, ca. 1920, Contributing Building

One-story matching weatherboarded garage with a gambrel roof and two open bays.

Playhouse

208 W. Third Avenue, ca. 1990s, Noncontributing Building

Elevated, shed-roofed, frame playhouse with rear equipment shed.

House

210 W. Third Avenue, ca. 1927, Contributing Building

Two-and-one-half-story brick Colonial Revival with a side-gable roof and a gabled entry porch with grouped Tuscan columns and pilasters; 6/6 sash, arched windows in gable ends, entry with sidelights, flat-roofed sunporch on south elevation, shallow one-story hip-roofed rear porch enclosed with wood lattice, brick end and interior chimneys. A black metal fence borders the rear alley. The house appears on the 1929 Sanborn map and was occupied by Hubert E. and Annie Olive in 1937. Mr. Olive was a lawyer.

Paul G. and Edna E Allred House

304 W. Third Avenue, ca. 1948, Contributing Building

One-story German-sided Minimal Traditional with a side-gable roof, a projecting front-gable bay and a gabled entry porch supported by square posts spanned by a modern wood railing; 8/8 sash, brick interior chimney, attached shed-roofed carport at rear, brick retaining wall at sidewalk. The house does not appear on the 1948 updates to the 1929 Sanborn map and was occupied by Paul G. and Edna E. Allred in 1947-48. Mr. Allred was a supervisor at Lexington Silk Mills.

Clarence & Essie T. Cook House

312 W. Third Avenue, ca. 1949, Contributing Building

One-story side-gable-roofed Minimal Traditional with a front-gable bay and a gabled corner porch with metal posts spanned by a metal railing; replacement sash, brick interior chimney, asbestos siding, aluminum awnings, rear addition, brick retaining wall at sidewalk. The house does not appear on the 1948 updates to the 1929 Sanborn map and was occupied by Clarence and Essie T. Cook in 1949-50. Mr. Cook was a sergeant with the City Police Department.

Oscar and Zeta Richardson House

314 W. Third Avenue, ca. 1920, Contributing Building

One-story weatherboarded bungalow with a front-gable roof and a gabled front porch supported by square posts on brick piers spanned by a wood railing; projecting gabled bay on south elevation, original 9/1 sash have been replaced with 1/1 sash, wood-shingled gables, triangular eave brackets, exposed rafter ends, brick retaining wall at sidewalk. The house appears on the 1923 Sanborn map and was occupied by Oscar and Zeta Richardson in 1925-26. Mr. Richardson was an agent at the Southern Railway Freight Office.

William P. and Laura Leonard House

316 W. Third Avenue, ca. 1920, Contributing Building

One-story wood-shingled bungalow with a front-gable roof and a front-gable porch supported by square posts on brick piers spanned by a wood railing; projecting gabled bay on south elevation, 9/1 sash, stepped false beams in gables, exposed rafter ends, metal carport extends from south elevation, brick retaining wall at sidewalk. The house appears on the 1923 Sanborn map and was occupied by William P. and Laura Leonard in 1925-26. Mr. Leonard was the owner of Leonard's Pressing Club.

Shed - general storage

316 W. Third Avenue, ca. 1970s, Noncontributing Building

Prefabricated metal storage shed.

Vernon G. and Viola H. Price House

318 W. Third Avenue, ca. 1920, Contributing Building

One-story side-gable bungalow with a gabled front porch supported by square posts on stuccoed piers spanned by a wood railing; replacement sash, stuccoed foundation, stuccoed end chimney, projecting shed-roofed bays on side elevations, wood-shingled gables, oversized triangular eave brackets, German vinyl siding, gable vents, rear shed addition, wood rear deck, vertical board fence extends south from house, brick retaining wall at sidewalk. The house appears on the 1923 Sanborn map and was occupied by Vernon G. and Viola H. Price in 1937. Mr. Price was a sergeant with the city police department.

South Side**Parkview Apartments No. 1**

215 W. Third Avenue, ca. 1927, Contributing Building

Three-story brick apartment building with a flat roof behind a flat parapet, brick pilasters on the façade and a small entrance portico supported by paired square posts on brick piers; replacement windows on façade, 6/6 sash on other elevations, arched window in façade's center, cast stone panel inscribed with building name in parapet, replacement aluminum-framed single-leaf glass door with sidelights and transom. Named because the building is adjacent to a former city park site which was built on part of the land comprising the Ford estate. The Ford house stood at the end of West Third when the street ended just beyond Hargrave Street.

Parkview Apartments No. 2

217 W. Third Avenue, ca. 1930, Contributing Building

Three-story brick apartment building with a flat roof behind a shaped Mission-style parapet; cast-stone Tudor Revival entrance surround topped with panel inscribed with "Parkview No. 2," metal casement windows, cast-stone Tudor Revival surround embellishes window in parapet at façade's center, recessed entrance with a replacement aluminum-framed glass front door flanked by a sidelight and arched transom, terrazzo flooring in foyer. A cast-stone cornice, belt course, and water table encircle the building's facade and rear wing

HISTORICAL BACKGROUND AND COMMUNITY PLANNING AND DEVELOPMENT CONTEXT

The following context is adapted from the Lexington Residential Historic District National Register nomination prepared by Heather Fearnbach in 2007.

Settlers attained land grants in the vicinity of what would become Lexington in the mid-1700s, but the first reference to the town of that name does not appear in Rowan County deeds until 1790, when Michael Beard divided approximately thirty acres of his land into four quadrants bisected by Main Street and cross streets and began to sell small parcels. According to local tradition, the settlement became known as Lexington soon after the April 19, 1775, Battle of Lexington, Massachusetts. The community had a post office by 1800, and the federal census of 1810, the first to list the town's population independently of the county's, enumerated eighty-three residents.⁵

Legislators created Davidson County from a portion of Rowan County in 1822. Lexington, which became the county seat in 1824, incorporated three years later. The town's first large-scale industrial enterprise was the Lexington Manufacturing Company, a steam-powered cotton mill constructed in 1839. After the complex burned in 1844, development was slow until a North Carolina Railroad line traversed Davidson County in 1855, connecting the state's eastern and western regions and providing the impetus for commercial farming and the development of textile and furniture industries.⁶

Anticipation of the railroad's arrival in the 1850s resulted in Lexington's first building boom and culminated in the new courthouse's 1858 completion. A commercial district extended from the courthouse along Main Street by 1885, when the Sanborn Map Company first rendered the area. Industrial buildings also stood close to the center of town. John D. and Thomas J. Grimes constructed a four-story, frame, steam-powered flour mill one block west of Main Street in 1879 and soon expanded into a four-story brick addition. William E. Holt established Wennonah Cotton Mills in 1886, sparking development east of Main Street. M. H. Pinnix, who served as Lexington's mayor from 1886 to 1888, reported that more streets were graded and sidewalks laid in 1888 than ever before. William A. Watson and D. K. Cecil moved their brick-making machine from Concord to Lexington in 1890, facilitating the manufacture of stronger, more durable, and smoother building brick at a most opportune time, as merchants, tradesmen, industrialists, bankers, doctors, and lawyers erected businesses, offices, and homes in the county seat.⁷

The influx of laborers for new businesses resulted in Lexington's population more than doubling from 626 to 1440 residents between 1890 and 1900. The increase fueled a need for additional housing and contractors built dwellings for the both the elite and working classes southwest of the central commercial district. Amenities including telephone and electric service were available to Lexington residents by 1897.⁸

⁵ M. Jewell Sink and Mary Green Matthews, *Pathfinders Past and Present: A History of Davidson County, North Carolina* (High Point: Hall Printing Company, 1972), 71-75; Laura A. W. Phillips, "Uptown Lexington Historic District," National Register of Historic Places Nomination, 1996, Section 8, page 35.

⁶ Sink and Matthews, 78; Catherine W. Bishir and Michael T. Southern, *A Guide to the Historic Architecture of Piedmont North Carolina* (Chapel Hill: UNC Press, 2003), 406.

⁷ Sink and Matthews, 83-84, 90-93; Paul Baker Touart, *Building the Backcountry: An Architectural History of Davidson County, North Carolina* (Lexington: The Davidson County Historical Association, 1987), 31.

⁸ Sink and Matthews, 90-93.

As the twentieth century dawned, Lexington, like much of the state, was poised for continued growth and expansion. A special 1906 issue of *The Dispatch* proclaimed Davidson County “the center of Piedmont North Carolina, Section of Golden Promise, A Land Where Progress Reigns.” A *Commercial History of the State of North Carolina*, published in 1908 by the North Carolina Division of the Travelers Protective Association, declared that:

Lexington, North Carolina, presents in a nutshell the story of the new South. In less than a decade it has developed from a straggling village to a splendid modern town, bustling with activity, throbbing with new-found energy, accomplishing each day more than the old town did in twelve months....About one and one-half millions are invested in manufacturing; the output is valued at about three millions; fifteen hundred workingmen find employment....Industrially, educationally, socially, Lexington is an ideal town.⁹

By 1911, the Winston-Salem Southbound and the Southern Railway passed through Lexington, connecting the growing town to markets throughout the eastern United States. The Lexington Board of Trade made a concerted effort to bring farmers downtown to shop when they delivered and received goods at the freight depots on either side of town. Civic leaders placed a high value on maintaining the attractive appearance of their community, organizing a clean-up week in 1912 complete with cash prizes. City Council appropriated funds for street naming and numbering the same year, and erected signposts throughout town. A series of ordinances addressed noise and air pollution issues by restricting the length of factory whistle blasts to less than one minute and motorcycle speed in town to less than fifteen miles per hour, and requiring that hog pens be constructed at least two hundred feet away from any business or residence.¹⁰

Most Lexington residents worked at furniture and textile manufacturing industries or in auxiliary service enterprises. Dixie Furniture, Star Milling, Valley Tie and Lumber, Davidson County Creamery, Dacotah Cotton Mills, Nokomis Cotton Mills, Erlanger Cotton Mills, Shoaf-Sink Hosiery Mills, Lexington Coal and Ice, Peerless Mattress, Lexington Coca Cola Bottling, Lee Veneer, Lexington Chair, Industrial Manufacturing, Lexington Mirror, and Southern Upholstery are just some of the companies that began operating in Lexington between 1900 and 1920. Business owners and employees lived in close proximity to the downtown commercial and industrial area, and with the exception of a few pockets of mill housing, were scattered throughout the historic district. John H. Mattison, a Dacotah Mills superintendent, resided in a modest frame bungalow at 302 West Second Avenue. Luther Dane, a Dixie Furniture foreman, occupied a side-gable bungalow at 315 West Third Avenue near Nokomis Mills employee Jacob Wagoner at 307 West Third Avenue. Most Erlanger Mills workers lived in the Erlanger village north of town, but a few, including O. Klutz Sharpe, an assistant manager at the Erlanger Community Club who occupied a hip-roofed cottage at 500 West Second Avenue, lived in Lexington. The rapid surge in Lexington’s population during the first two decades of the twentieth century—from 1,440 residents in 1900 to 5,254 in 1920—fueled another residential and commercial building boom and a great diversification of available goods and services.¹¹

⁹ Ibid., 93. The Winston-Salem Southbound Railroad line and the railroad right-of-way is just west of the district.

¹⁰ Ibid., 96-97.

¹¹ M. Jewell Sink, *Davidson County: Economic and Social* (Chapel Hill: Department of Rural Socio-Economics, 1925), 36-42; Ernest H. Miller, *1925-26 Lexington City Directory* (Asheville: Commercial Service Co., 1926); Howard M. Brunsmann, Chief, Population and Housing Division, *United States Census of Population: 1950, Number of Inhabitants, North Carolina* (Washington, D. C.: Government Printing Office, 1951), 33-9.

Lexington was not alone its rapid growth, nor in the fact that much of the development was occurring in newly platted neighborhoods. The populations of many North Carolina cities doubled or tripled between 1900 and 1930. People moved to Charlotte and Greensboro to seek employment in the textile mills, to Winston-Salem and Durham for textile and tobacco manufacturing jobs, to Wilmington for shipping and railroad work, and to Raleigh for positions in state government or at State College. Following these primary economic engines were banks, construction firms, restaurants, and retail outlets that created even more opportunities for a regular paycheck.¹²

Lexington's residential area continued to expand to the northwest in the 1910s. The Park Land Company's first subdivision, Park Place, consisted of an almost rectangular neighborhood arranged in triangular sections on either side of West Second Avenue. Payne, Williams, Vance, and Park Streets served as the neighborhood's north-south corridors. The first Park Place plat is dated November 1909; a 1917 plat delineates the "Robberts Addition," a narrow section of lots on the northeast edge of the subdivision. Park Place is clearly visible on the map of Lexington in the 1916-1917 city directory, but only a few houses had been constructed in the neighborhood by that time, and most of them faced West Second Avenue.¹³

Robbins Heights, another early Lexington subdivision, was presumably developed by Foy and Shemwell, as their name appears on the 1914 plat of a "Boulevard Addition to Robbins Heights." An earlier plat bears the name of the Davidson County Development Company. The subdivision encompassed several blocks of West Eighth and Ninth Avenues and the cross streets from what is now Myrtle (originally Maple), to Robbins (originally North), Ford, and Hargrave Streets. J. Edgar Foy and Dermont Shemwell were the purveyors of real estate, insurance, livestock, cotton, buggies, wagons, and Fords in addition to serving as the cashier and president of First National Bank, respectively. B. E. Everhart managed the real estate division of Foy and Shemwell in 1917, when large company ads appeared in *The Dispatch* encouraging Lexington residents to purchase real estate.¹⁴

Foy and Shemwell developed the Courtenay subdivision that year, a crescent-shaped neighborhood bounded by West Center Street, Williams Street and West Second Street. Vance Circle arcs through the middle of the property, which was laid out by Earle Sumner Draper, a prominent Charlotte landscape architect. Courtenay was one of Draper's first projects as an independent practitioner. His firm, established in 1917, designed hundreds of subdivisions, mill villages, college campuses, estates, and parks throughout the southeastern United States before Draper left private practice in 1933. Draper specialized in upper-class residential subdivisions characterized by curvilinear, tree-lined streets in the tradition of Frederick Law Olmsted. North Carolina examples of his subdivision designs include Hayes-Barton in Raleigh, Forest Hills in Durham, Eastover in Charlotte, and Emerywood in

¹² Catherine W. Bishir, "Introduction," In *Early Twentieth-Century Suburbs in North Carolina*, edited by Catherine W. Bishir and Lawrence S. Earley, (Raleigh: North Carolina Department of Cultural Resources, 1985), 3.

¹³ N. R. Kinney, "Map of Lexington, N. C.," *1916-1917 Lexington City Directory* (Florence, SC: Charles S. Gardiner Directory Publishers, 1917); C. M. Miller, "Map of Park Place, Lexington, N. C.," November 1909, Plat Book 1, page 67; N. R. Kinney, Map of Robberts Addition to Park Land Co., Lexington, N. C., April 24, 1917, Plat Book 1, page 20, Davidson County Courthouse, Lexington.

¹⁴ Jerry Respers, "Robbins Addition to Lexington, North Carolina," no date, Plat Book 1, page 68; "Map of Robbins Heights," no date, Plat Book 1, page 74; "Map of Robbins Heights, Lexington, N.C., Property of the Davidson County Development Company," illegible date, Plat Book 1, pages 82-83; A. F. Dean and J. C. Hicks, "Boulevard Addition to Robbins Heights, Belonging to Foy & Shemwell, Lexington, N. C.," October 1914, Plat Book 2, page 13; *1916-1917 Lexington City Directory*; "Stop, Look, Listen! Real Estate Is Now On!," *The Dispatch*, April 11, 1917.

High Point.¹⁵

Lexington, like most of the nation, saw little development during World War I, but the population grew from 5,254 in 1920 to 9,652 in 1930, once again creating the need for additional housing.¹⁶ The Rosemary Park Land Company laid out the Rosemary Park subdivision in May 1920. Bounded on the west by the Winston-Salem Southbound Railroad right-of-way, the neighborhood extends down Westside Drive to just south of Burgin Avenue (now Burgin Drive), along Station Drive to West Third Avenue, and north on Westside Drive to West Center Street. The northwestern section of the subdivision also encompasses the blocks of Martin, Payne, and Williams Streets between West Second and Third Avenues, a small section of which was originally platted as part of Park Place.¹⁷ On September 14, 1922, an article in *The Dispatch* reported that:

L. J. Peacock recently completed a handsome residence of seven rooms, with plenteous closets, bath room, sleeping porch, etc., which is now occupied by Mr. and Mrs. C. C. Wall and Mr. and Mrs. C. F. Wall. Just south of this the foundation is already down for another residence of similar size and pattern, which Mr. Peacock is building, and he expects shortly to build a third new residence on an adjoining lot. West of these and some distance from the splendid residence of Graham Hege, which was erected last year, Mrs. J. W. Trantham is erecting a modern residence...¹⁸

Burgin and Critcher (perhaps William O. Burgin and Percy V. Critcher, both attorneys) further subdivided twenty lots on the south side of Westside Drive and the east side of Station Drive in July 1923, resulting in sixty-two narrow lots.¹⁹ Although the lots were never completely built out, that section of Westside Drive remains one of the most densely concentrated areas of the historic district.

The Park Land Company acquired a thirty-two-acre parcel of land north of Park Place and Courtenay around 1920, and called it Hillcrest. Earle S. Draper designed the wide, curvilinear streets of the neighborhood. City water, electric, and telephone lines were extended to the new subdivision. A 1921 article in *The Dispatch* reported that lots ranged in size and cost with the intention of attracting a variety of buyers. However, the company did not offer the lots at a public auction, but rather reserved the right to carefully select buyers at private sale with the intention of “insuring the steady increase in the value of the property.” Modest houses were constructed on the eastern sides of the development, closer to Salem Street, while Lexington’s business leaders commissioned more elaborate residences on large lots facing Williams Circle, Hillcrest Circle, Second Street, and Chestnut Street. The eight-room home of Paul R. Raper, secretary of the Park Land Company, was completed in 1921 and served as the model home for the neighborhood.²⁰ The house, though altered, still stands at 312 Hillcrest Circle.

¹⁵ E. S. Draper and N. R. Kinney, “Plan for the Subdivision of Courtenay, Lexington, N. C., Property of Foy & Shemwell,” September 1917, Plat Book 2, page 24, Davidson County Courthouse, Lexington; Thomas W. Hanchett, “Earle Sumner Draper: City Planner of the New South,” In *Early Twentieth-Century Suburbs in North Carolina*, 79; Frank R. Burgraff and Charles E. Aguilar, “Earle Sumner Draper,” In *Pioneers of American Landscape Design*, edited by Charles A. Birnbaum and Robin Carson (New York: McGraw-Hill, 2000), 100-103.

¹⁶ Sink and Mathews, 103.

¹⁷ N. R. Kinney, “Final Plan for the Development of Rosemary Park, Rosemary Land Company, Inc., Lexington, North Carolina,” May 1920, Plat Book 2, page 52.

¹⁸ “New Residential Section Is Being Rapidly Improved,” *The Dispatch*, September 14, 1922.

¹⁹ N. R. Kinney, “Map of Property of Messrs Burgin & Critcher, Known as Rosemary Park, Lexington, Davidson County, North Carolina,” July 1923, Plat Book 2, page 91, Davidson County Courthouse, Lexington.

²⁰ E. S. Draper and N. R. Kinney, “Map of Hillcrest, Hege Addition to the Park Land Company, Inc.,” September 21, 1925, Plat Book 2, page 57, Davidson County Courthouse, Lexington; “Park Land Company Opens

A 1921 newspaper article entitled “The Advantages Lexington Offers to the Home-Seeker” reported that “the home shortage situation in Lexington...has never reached a point that could be considered alarming, and at present there are abundant homes for rent or for sale, most of which are new structures that have gone up within the past few months.” The article claimed that “during the past two years several new residential sections have been opened up and beautiful building lots within a few minutes walk from the center of town can be bought at a remarkably low figure.”²¹ By November 1922, the *Manufacturers Record* stated that real estate prices in Lexington were increasing “and new subdivisions opened with good demand from would-be home owners.” Over one hundred “modest” houses with an average value of five thousand dollars were erected throughout town, in addition to a “goodly number of commodious and expensive houses.” C. M. Thompson’s Sons, a Lexington building supply company, reported a steady demand for building materials during the year, and A. S. Johnson of the Johnson Lumber Company claimed that they had as much business as they could handle.²²

By 1927, Lexington residents occupied three thousand dwellings and enjoyed fifteen miles of paved streets and thirty miles of improved sidewalks. Fifty-seven manufacturing plants employed approximately 4,500 workers with an annual payroll of about three million dollars. The cost of living was relatively low in comparison to neighboring towns, and development opportunities seemed limitless.²³

However, the stock market crash of October 1929 and the ensuing Great Depression slowed the economic growth of Lexington. Little new construction took place, particularly in the downtown area, and many small businesses did not survive. Mildred Ann Raper remembers that Emery E. Raper, her father-in-law and the president of Park Land Company, was forced to sell most of his investment property during this time.²⁴ Most Lexington factories and mills remained open, although wages were reduced. New Deal agencies provided jobs for some residents. Projects funded by the North Carolina Emergency Relief Administration in Lexington from 1932 to 1935 include repairing city streets; constructing sidewalks, privies, and sewer lines; mattress making; canning; repairing books; cutting wood and distributing commodities.²⁵ The Civilian Conservation Corps (CCC) housed and employed several hundred men in a Soil Conservation Service research and demonstration station.²⁶ Other CCC workers, like Albert R. Stephens, an engineer at the CCC camp, resided in Lexington neighborhoods.²⁷

The economy started to recover by the late 1930s, but Lexington’s population grew only slightly, numbering 10,550 in 1940. Nearly 7,000 Davidson County residents served in World War II, and those left behind were occupied with the war effort in a variety of ways, from filling vacant positions

New Subdivision,” *The Dispatch*, May 3, 1921; Sanborn Fire Insurance Company Maps, Lexington, Davidson County, 1923 and 1929.

²¹ O. B. Carr, “The Advantages Lexington Offers to the Home-Seeker,” *The Dispatch*, May 3, 1921.

²² Carroll E. Williams, “A Remarkable Story of Improved Conditions in Industry and Agriculture in a North Carolina Community,” *Manufacturers Record*, November 30, 1922.

²³ Jacob Calvin Leonard, *Centennial History of Davidson County, North Carolina* (Raleigh: Edwards & Broughton Company, 1927), 304-307.

²⁴ Mildred Ann Raper, interview with the author, August 31, 2005.

²⁵ Sink and Mathews, 102-103; J. S. Kirk, Walter A. Cutter and Thomas W. Morse, eds., *Emergency Relief in North Carolina: A Record of the Development and Activities of the North Carolina Emergency Relief Administration, 1932-1935* (Raleigh: North Carolina Emergency Relief Administration, 1936), 472.

²⁶ E. E. Witherspoon, “Lexington: City of Real Diversification,” *The State*, June 5, 1937.

²⁷ Mr. Stephens lived at 409 South Ford Street in 1937, Miller, *Lexington City Directory*.

in local manufacturing plants to participating in bond drives and other volunteer efforts.²⁸ As building materials were in short supply, few dwellings were erected in the district during the early 1940s. The situation improved at the end of World War II, however, and returning veterans rapidly established families and created a critical need for housing, which was in short supply nationally after years of slow development during the Depression and war years. The GI Bill of 1944, which guaranteed low-interest home loans for veterans, promoted the construction of houses in new suburbs and on vacant lots in existing neighborhoods in Lexington and across the nation.

There was little land left to be developed in central Lexington by the 1940s. J. R. and T. J. Grimes planned a small addition to the Hillcrest subdivision at the end of Hege Drive across from Grimes School in 1940, but the first houses were not constructed on the crescent-shaped street (Grimes Circle) until around 1947. Westover Heights, a twenty-two lot addition to Park Place on West Center and Martin Streets, was platted in November 1944. A few good-sized parcels were subdivided in estate sales. The heirs of James D. Redwine, president of the Lexington Hardware Corporation and vice-president of the Industrial Building and Loan Association, and Jule C. Smith sold property bounded by Salem, West Third, North State, and West Second Streets, in 1946. The Carolina Land and Auction Company of Hickory handled the Redwine sale.²⁹

A long article in the February 22, 1947 issue of *The State* magazine proclaimed Lexington to be “The Hub of the Piedmont...Where opportunity presents itself to the Industrialist, Agriculturalist and Homemaker,” and, among other promotional materials, included photos of the bustling downtown and impeccably maintained houses on West Second Avenue. Active civic organizations, the construction of new schools and Memorial Hospital, updates to city utilities and modernized industrial plants were all touted as reasons to move to Lexington.³⁰ This type of boosterism, coupled with a post-war population influx, resulted in a 28.6 percent increase in Lexington’s population—to 13,571—by 1950. Existing neighborhoods, such as Oak Crest, developed by R. B. McRary and Woodrow McKay in the early 1920s between West Fourth and Fifth Avenues from Park to Hargrave Street, were expanded.³¹ Previously undeveloped parcels, such as a large tract in Rosemary Park that became Rosemary Drive, were subdivided and new Ranch houses were constructed.

In the decades since, the character of the Park Place Local Historic District has remained remarkably stable, maintaining a mix of homeowners and renters, young professionals and retirees. The relatively few buildings that post-date the period of significance are of compatible form and scale, and the neighborhood still retains its early-to mid-twentieth century character.

²⁸ Howard M. Brunzman, *United States Census of Population: 1950, Number of Inhabitants, North Carolina*, 33-9; Jim Daniel, “A Band of Families: Learning about Davidsonians on the Home Front in WWII,” *Davidson County Focus*, Fall 2005, 7-11.

²⁹ N. R. Kinney, “Hillcrest Addition,” April 1940, Plat Book 4, page 68; N. R. Kinney, “Map of Property of Westover Heights, Addition to Park Place, Lexington, N. C.,” November 1944, Plat Book 5, page 48; N. R. Kinney, “Map of the Jule C. Smith Estate Property, Lexington, N. C.,” April 1946, Plat Book 5, page 61; Carolina Land and Auction Company, “Map No. 1, J. D. Redwine Estate, Lexington, N. C., Davidson County,” July 1946, Plat Book 5, page 73, Davidson County Courthouse, Lexington; Miller, *Lexington City Directory*, 1941-42.

³⁰ “A Real up-and-Coming City,” *The State*, February 22, 1947, 19-35.

³¹ N. R. Kinney, “Map of Oak Crest, Lexington, N. C., Property of R. B. McRary,” June 1920, Plat Book 2, Page 59; N. R. Kinney, “Property of Woodrow McKay Known as Oak Crest, Lexington, North Carolina,” no date (circa 1923), Plat Book 2, page 102; N. R. Kinney & Son, “Revised Map of Oak Crest, Section 3, Lexington, N. C., June 1947, Plat Book 6, page 30, Davidson County Courthouse, Lexington.

BOUNDARY JUSTIFICATION

The boundaries of the Park Place Local Historic District are drawn to include the greatest concentration of contributing resources in a predominately residential area shaped by three historic plats. The district contains a cohesive collection of Lexington's most intact historically and architecturally significant dwellings executed in a wide range of architectural forms and styles, from Queen Anne cottages to Ranch houses. The neighborhood's development clearly manifests Lexington's periods of economic growth from the early twentieth century through the post World War II era.

The Park Place Local Historic District comprises areas developed as Lexington's population expanded rapidly in the twentieth century's first decades, epitomizing the suburban experience in towns and cities across the country during that period. Lexington's earlier neighborhoods evolved organically near major transportation corridors and in close proximity to commercial and industrial concerns. Most of the streets and avenues follow an irregular grid pattern. Park Place's creation represented a concerted effort to develop what was then called Lexington's "West Ward" utilizing a precise grid plan that supplemented street and driveway access with rear alleys that still serve many properties. The boundaries encompass portions of Park Place, developed by the Park Land Company in 1909; the 1912 Ford Addition, an adjacent block containing lots sold by Mrs. C. E. Ford; and the 1917 Robberts Addition to Park Land Company, which slightly modified the 1909 Park Place plat. Williams Circle north of Center Street leads into the curvilinear Hillcrest neighborhood, a 1920 addition to Park Land Company.³²

The Park Place Local Historic District is easily distinguishable from the adjacent area, which consists of altered historic buildings or modern residential, commercial, recreational, and institutional construction. The local district is significantly smaller than the Lexington Residential Historic District, comprising 146 of the 751 primary resources listed in the National Register. The Park Place Local Historic District thus comprises a manageable area for the City of Lexington's first local designation effort.

The bold line on the following map illustrates the Park Place Local Historic District boundaries at a scale of 1 inch equals 250 feet. The second map illustrates the relationship of the Park Place Local Historic District to the National Register-listed Lexington Residential Historic District. The maps have been rotated from a true north compass orientation in order to maximize space.

³² Davidson County Plat Book 1, pp. 67 and 132; Plat Book 2, pp. 20 and 57.



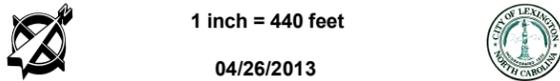
Park Place Local Historic District
 Lexington, Davidson County, NC

National Register-Listed
 Lexington Residential Historic District

440 0 440
 Feet

1 inch = 440 feet

04/26/2013



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- Witherspoon, E. E. “Lexington: City of Real Diversification.” *The State*. June 5, 1937.

Appendix A: Professional Qualifications

**HEATHER FEARNBACH
FEARNBACH HISTORY SERVICES, INC.**

EDUCATION

- Ph.D. in History coursework, 2006-2007, University of North Carolina at Greensboro
- Master of Arts in History, emphasis in Public History, 1997, Middle Tennessee State University
- Graduate coursework in Anthropology, 1994-1995, University of Tennessee at Knoxville
- Bachelor of Arts in English Literature, 1993, University of North Carolina at Greensboro

RECENT RECOGNITION

Willie Parker Peace History Book Award from the North Carolina Society of Historians, Inc., 2012

● For three reports: “Forsyth County’s Agricultural Heritage” and “The Bethania Freedmen’s Community,” prepared for the Winston-Salem/Forsyth County Historic Resources Commission, and a western North Carolina historic store context compiled for the North Carolina Department of Transportation. The North Carolina Society of Historians, Inc., established in 1941 to collect and preserve “North Carolina history, traditions, artifacts, genealogies, and folklore,” presents the Willie Parker Peace Award annually to “encourage the writing and publication of the history of a North Carolina county, institution, or individual.”

Gertrude S. Carraway Award of Merit from Preservation North Carolina, 2011

● In recognition of Ms. Fearnbach’s achievements as an architectural historian and a Salem College and UNC-Greensboro professor. Each year, Preservation North Carolina presents Carraway Awards to individuals and organizations that have demonstrated an outstanding commitment to promoting historic preservation. The awards have been given since 1975 and are named for the late Dr. Gertrude Carraway, a leader in the successful effort to reconstruct the state’s colonial capitol, Tryon Palace, in New Bern.

PROFESSIONAL EXPERIENCE

President and Architectural Historian, Fearnbach History Services, Inc., Winston-Salem, N.C.,
established May 2008

- Prepare Section 106/4f reports, National Register of Historic Places nominations, local designation reports, site management plans, historic structures reports, and historic furnishings plans
- Conduct comprehensive architectural surveys and historical research
- Provide historic rehabilitation tax credit consultation and application submittal services

Lecturer, Art Department, Salem College, Winston-Salem, N.C., Spring 2003 to present; Coordinator of the Certificate Program in Historic Preservation beginning Summer 2010

- Teach “Introduction to Historic Preservation” (ARTI 206/PRSV230) and “Preservation-Sensitive Sustainable Design” (PRSV 240) to undergraduates
- Recruit and advise certificate program students
- Arrange and supervise historic preservation internships

Lecturer, History and Interior Architecture Departments, University of North Carolina at Greensboro,
Spring 2008 to Fall 2012

- Taught HIS/IAR 628, “Identification and Evaluation of the Historic Built Environment” to graduate students

Architectural Historian, Edwards-Pitman Environmental, Inc., Winston-Salem, N.C., January 2003 to June 2008

- Operated regional office of Georgia-based consulting firm
- Wrote National Register nominations, local designation reports, and site management plans
- Prepared historic resource documentation as required by Section 106/4f and coordinated reviews with local,

state, and federal agencies as needed

- Performed field surveys to identify, evaluate, research, and document historic resources located in the areas of potential effect for proposed projects
- Conducted comprehensive architectural surveys for the State Historic Preservation Offices in North Carolina and South Carolina

Architectural Historian, Historic Architecture Section, Project Development and Environmental Analysis Branch, Department of Transportation, Raleigh, N.C., October 2000 to January 2003

- Performed architectural identification and analysis for project planning process
- Assessed project effects, devised and implemented mitigation as required by Section 106/4f
- Prepared relevant parts of environmental documents as required by NEPA
- Provided technical expertise for staff, Division personnel, and the general public
- Coordinated historic bridge relocation and reuse program
- Reviewed in-house staff documents and consultant documents

Restoration Specialist, Architecture Branch, Historic Sites Section, Division of Archives and History, Department of Cultural Resources, Raleigh, N.C., January 1999 to October 2000

- Served as Head of the Architecture Branch
- Supervised Facility Architect I position and temporary position
- Managed restoration, renovation, and new construction projects at twenty-two state historic sites
- Monitored in-house job request system and prioritized projects
- Provided expertise, advice, and counsel on building code, design, historic architecture, ADA, and restoration issues to site managers, maintenance personnel, and the public
- Coordinated the development of the section's programming for individual projects
- Handled the section's review of plans and specifications and provided written comments
- Acted as liaison with the State Historic Preservation Office

Historic Site Manager II, Somerset Place State Historic Site, Creswell, N.C., April 1998 to January 1999

- Managed daily operations involving administration, interpretation, and personnel
- Supervised and reviewed research projects
- Prepared general research and planning reports
- Revised the interpretive script for the site
- Revamped the education program and began a teacher's packet
- Reissued Somerset Place Foundation, Inc. publications
- Updated web page for the Historic Albemarle Tour web site
- Conducted regular, specialized and hands-on tours of Somerset Place, an antebellum plantation

Field Surveyor and Assistant Coordinator, The Center for Historic Preservation, Murfreesboro, T.N., August 1997 to May 1998

- Conducted grant-supported research and survey work to prepare one multiple property nomination including denominational histories and thirteen individual nominations of rural African American churches in Tennessee to the National Register of Historic Places
- Coordinated research and planning for the Civil War Heritage Area in Tennessee

Graduate Research Assistant, The Center for Historic Preservation, Murfreesboro, T.N., August 1996 to August 1997

- Museums: Developed an exhibit entitled "Murfreesboro: Settlement to Reconstruction" for Bradley Academy, an African American school converted into a local history museum
- Heritage Education: Drafted design proposal for a 1920s heritage classroom at Bradley Academy and assisted with grant writing and preliminary exhibit design for the new Children's Discovery House
- Heritage Tourism: Designed Civil War history wayside exhibits and an interpretive brochure for the

Stones River and Lytle Creek Greenway in Murfreesboro, performed bibliographic research for the Civil War Heritage Area in Tennessee project, and created a brochure for the Leadership Rutherford Committee

Researcher, National Park Service - Natchez Trace Parkway, Tupelo, M.S., May 1997 to September 1997

- Visited repositories in Tennessee, Alabama and Mississippi to accumulate information for a comprehensive bibliography on the modern motor road that is the Natchez Trace Parkway's major transportation corridor
- Evaluated project research and prepared a final report published in 1998

SUPPLEMENTARY PROFESSIONAL EXPERIENCE

Board Member, State Capitol Foundation, Raleigh, N.C., 2010-2012

Commission Member, Raleigh Historic Districts Commission, Raleigh, N.C., 2002-2003

- Served on the Certificate of Appropriateness and Research Committees

Board Member, Historic Stagville Foundation, Durham, N.C., 2001-2003

- Served on the Buildings Committee (monitored and documented historic resources)
- Assisted with special events

Consultant, Terracon, Duluth, G.A., 2001-2003

- Prepared communications tower review forms, conduct fieldwork, and provide additional documentation as requested for Section 106 compliance
- Presented proposed projects to the staff at the North Carolina State Historic Preservation Office and the Office of State Archaeology

Board Member, Joel Lane House, Inc., 1999-2002

- Served as House Chairman (regularly inspected historic resources and scheduled repairs)
- Assisted with special event planning and execution
- Developed and implemented cyclical maintenance plan

ARCHITECTURAL SURVEYS

- Forsyth County, North Carolina Phases I, II, III, and IV Architectural Survey (2006-2011)
- City of Concord Downtown Commercial Districts Survey Update, Cabarrus County (2008)
- City of Concord Residential Historic Districts Survey Update, Cabarrus County, North Carolina (2006)
- City of Lexington Architectural Survey (Historic Residential Neighborhoods and Erlanger Mill Village), Davidson County, North Carolina (2005)
- City of Thomasville Architectural Survey, Davidson County, North Carolina (2004)
- City of Rock Hill, South Carolina Architectural Survey for the City of Rock Hill and the South Carolina State Historic Preservation Office (2004)
- City of Greenville, South Carolina Architectural Survey for the City of Greenville and the South Carolina State Historic Preservation Office (2003)

HISTORIC CONTEXTS, STUDY LIST APPLICATIONS, AND NATIONAL REGISTER OF HISTORIC PLACES NOMINATIONS

- *Forsyth County's Agricultural Heritage* (2011-2012)
- *The Bethania Freedmen's Community: An Architectural and Historical Context of the Bethania-Rural Hall Road Study Area*, Forsyth County, North Carolina (2011-2012)
- Downtown Sylva Historic District, Jackson County (2012-2013)
- Wilkinson-Hurdle House National Register Nomination, Tarboro vicinity, Edgecombe County (2012-2013)
- Lenoir Downtown Historic District Boundary Increase National Register Nomination, Caldwell County (2012-2013)
- Hoots Milling Company Roller Mill and Warehouses Study List Application, Forsyth County (2012)

- Waller-Joyner Farm Study List Application, Dozier vicinity, Forsyth County (2012)
- City Hospital - Gaston Memorial Hospital Study List Application and National Register Nomination, Gastonia, Gaston County (2011)
- Asheboro Hosiery Mills – Cranford Furniture Company Study List Application and National Register Nomination, Asheboro, Randolph County (2011)
- Chatham Manufacturing Company National Register Nomination, Winston-Salem, Forsyth County (2011)
- Washington Street Historic District National Register Nomination, High Point, Guilford County (2010)
- Farmington Historic District National Register Nomination, Farmington, Davie County (2010)
- Carolina Mill Study List Application, Carolina, Alamance County (2010)
- Booker T. Washington High School Study List Application, Rocky Mount, Edgecombe County (2009)
- Moore-Cordell House Study List Application, Winston-Salem, Forsyth County (2009)
- Stonecutter Mills Study List Application, Spindale, Rutherford County (2009)
- Beverly Hills Historic District National Register Nomination, Burlington, Alamance County (2009)
- Central City Historic District National Register Nomination Boundary Increase, Decrease, and Additional Documentation, Rocky Mount, Nash and Edgecombe Counties (2009)
- St. Stephen United Methodist Church National Register Nomination Draft, Lexington, Davidson County (2008)
- Blair Farm National Register Nomination, Boone, Watauga County (2008)
- Foust-Carpenter and Dean Dick Farms Study List Application and National Register Nomination, Whitsett vicinity, Guilford County (2007, 2008)
- Alexander Manufacturing Company Mill Village Study List Application and National Register Nomination, Forest City, Rutherford County (2005, 2008)
- Erlanger Mill Village Historic District Study List Application and National Register Nomination, Davidson County (2005, 2007)
- Lenoir Downtown Historic District National Register Nomination, Caldwell County (2006)
- Lexington Residential Historic District Study List Application and National Register Nomination, Davidson County (2005, 2006)
- West Main Street Historic District National Register Nomination, Forest City, Rutherford County (2005)
- Loray Mill Historic District Boundary Expansion, Gastonia, Gaston County (2005)
- East Main Street Historic District National Register Nomination, Forest City, Rutherford County (2005)
- York-Chester Historic District National Register Nomination, Gaston County (2004)
- Turner and Amelia Smith House National Register Nomination, Wake County (2004)
- Kenworth Historic District National Register Nomination, Catawba County (2004)
- Main Street Historic District National Register Boundary Expansion, Forest City, Rutherford County (2004)
- Lewis-Thornburg Farm National Register Nomination, Randolph County (2003)
- Henrietta-Caroleen High School National Register Nomination, Rutherford County (2003)
- Everetts Christian Church National Register Nomination, Martin County (2003)
- First Christian Church National Register Nomination, Martin County (2003)
- Oak City Church National Register Nomination, Martin County (2003)
- West Raleigh National Register Nomination, Wake County, North Carolina (2003)
- Study List Applications: Randleman School, Randolph County; Linden School, Cumberland County; Cleveland School, Johnston County (2002)
- Peace House National Register Nomination, Granville County (2002)
- Ashland National Register Nomination, Bertie County (2002)
- Frank and Mary Smith House National Register Nomination, Wake County (2002)
- Winfall Historic District National Register Nomination, Perquimans County (2002)
- King Parker House National Register Nomination, Hertford County (2002)
- Study List Applications: Brentwood School, Guilford County; Powell-Horton House, Hertford County (2002)
- Porter Houses and Armstrong Kitchen National Register Nomination, Edgecombe County (2002)
- Hauser Farm (Horne Creek Farm State Historic Site) National Register Nomination, Surry County (2001)
- Garrett’s Island House National Register Nomination, Washington County (2000)
- CSS *Neuse* National Register Nomination, Lenoir County (1999)

- St. Luke's A.M.E. Church National Register Nomination Draft, Halifax County (1999); church destroyed by Hurricane Floyd in September 1999

LOCAL DESIGNATION REPORTS AND DESIGN GUIDELINES

- YWCA Administration Building, Local Landmark Designation Report, Winston-Salem, Forsyth County (2013)
- Downtown Concord Historic District Local Designation Consultation and Report, Cabarrus County (2008, 2010)
- Lexington Residential Historic District and Erlanger Mill Village Historic District Local Designation Reports and Draft Design Guidelines, Davidson County (2007-2008)
- Foust-Carpenter and Dean Dick Farms Local Historic District Designation Report, Whitsett vicinity, Guilford County (2007)
- Ludwick and Elizabeth Summers House Local Landmark Designation Report, Gibsonville vicinity, Guilford County (2007)
- James B. and Diana M. Dyer House, Local Landmark Designation Report, Winston-Salem, Forsyth County (2005)

HISTORIC STRUCTURES REPORTS AND RESTORATION PLANS

- Restoration plan preparation for the Robson House and consultation during its installation in the chronological North Carolina history exhibit at the Museum of History in Raleigh, North Carolina (2009-2010)
- Leigh Farm Historic Structures Report and Site Management Plan, Durham County (2006)
- Burnt Chimney CDBG Redevelopment Project Recordation Plan, Florence Mill Property, Forest City, Rutherford County (2006)
- Lewis-Thornburg Farm Site Management Plan, Randolph County (2003)
- Historic Structures Report on the Robson House, with Peter Sandbeck, prepared for the Museum of History, Raleigh, North Carolina (2002)

SECTION 106 REPORTS AND MITIGATION PROJECTS

- North Carolina Department of Transportation Historic Architectural Resources Survey Report: Replace Bridge No. 229 on SR 2264 over the Norfolk and Western Railroad, Winston-Salem, Forsyth County (2012)
- North Carolina Department of Transportation Interpretative Panel Research and Design: Mitigation for the Removal of Bridge No.338 over the Yadkin River in Elkin, Surry County (2011-2012)
- North Carolina Department of Transportation Historic Architectural Resources Survey Report: Historic Store Context, Burke, Caldwell, Cleveland, McDowell, and Rutherford Counties, Mitigation for the Widening of Enola Road (SR 1922/1924) in Morganton, Burke County (2011-2012)
- North Carolina Department of Transportation Phase II Historic Architectural Resources Survey Report: Intensive Evaluation, Watkins Farm, Cornwall, Granville County (2010)
- North Carolina Department of Transportation Phase II Historic Architectural Resources Survey Report: Intensive Evaluation, Ramsey Farm, I-40/I-77 Interchange Improvements, Statesville, Iredell County (2009-2010)
- North Carolina Department of Transportation Phase II Historic Architectural Resources Survey Report: Greensboro Northern and Eastern Loops, Guilford County (2006)
- North Carolina Department of Transportation Phase II Historic Architectural Resources Survey Report: US 52 Improvement Project, Forsyth County (2005)
- North Carolina Department of Transportation Phase II Historic Architectural Resources Survey Report: NC 109 Improvement Project, Forsyth and Davidson Counties (2005)
- North Carolina Department of Transportation Phase II Historic Architectural Resources Survey: Correction of Differential Settling along US 158 (Elizabeth Street) from NC 34 (North Water Street) to US 17 Business in Elizabeth City, Pasquotank County (2005)

- North Carolina Department of Transportation Phase II Historic Architectural Resources Survey: Correction of Differential Settling along US 17 Business/NC 37 from the Perquimans River Bridge to the NC 37 split, Hertford vicinity, Perquimans County (2005)
- North Carolina Department of Transportation Phase II Historic Architectural Resources Survey: Improvements to NC 33 from US 264 in Greenville to US 64 in Tarboro, Pitt and Edgecombe Counties (2005)
- North Carolina Department of Transportation Phase II Historic Architectural Resources Survey Report: Kerr Avenue Improvements, Wilmington, New Hanover County (2005)
- North Carolina Department of Transportation Phase II Historic Architectural Resources Survey Report: Salem Creek Connector, Winston-Salem, Forsyth County (2004)

OTHER PUBLICATIONS

- *Winston-Salem's Architectural Heritage*, manuscript to be published by the Winston-Salem/Forsyth County Historic Resources Commission in conjunction with the city's 2013 centennial
- "Northup and O'Brien," biographical entry completed in 2010 upon the request of Catherine Bishir for the *Dictionary of North Carolina Architects and Builders*, an online resource administered by North Carolina State University.
- "Denominational Histories," with Teresa Douglas, Rebecca Smith, and Carroll Van West, in *Powerful Artifacts: A Guide to Surveying and Documenting Rural African-American Churches in the South*, Center for Historic Preservation, Middle Tennessee State University, July 2000.
- *Paving the Way: A Bibliography of the Modern Natchez Trace Parkway* with Timothy Davis, Sara Amy Leach, and Ashley Vaughn, Natchez Trace Parkway, National Park Service, 1999.
- Index, *Tennessee Historical Quarterly*, Winter 1998.
- "Andrew Jackson Donelson," "Samuel Donelson," and "Stockly Donelson," *Tennessee Encyclopedia of History and Culture*, Tennessee Historical Society, Nashville, 1998.

HISTORIC PRESERVATION CERTIFICATION APPLICATIONS FOR TAX CREDIT PROJECTS

- Property owner assistance with the preparation of non-income producing tax credit applications for residences in National Register historic districts in Winston-Salem, Forsyth County (2003-2012)
- O. P. Lutz Furniture Company – Lutz Hosiery Mill, Income-Producing Tax Credit Application, Part 1, Lenoir, Caldwell County (2012)
- Spencer's, Inc. of Mt. Airy, Income-Producing Tax Credit Application, Part 1, Surry County (2012)
- Cranford Industries Office Income-Producing Tax Credit Application, Asheboro, Randolph County (2012)
- City Hospital - Gaston Memorial Hospital Income-Producing Tax Credit Application, Part 1, Gastonia, Gaston County (2011)
- Asheboro Hosiery Mills – Cranford Furniture Company Income-Producing Tax Credit Application, Parts 1 and 2, Asheboro, Randolph County (2011)
- Chatham Manufacturing Company Income-Producing Tax Credit Application, Part 1, Winston-Salem, Forsyth County (2011)
- W. L. Robison Building Income-Producing Tax Credit Application, Winston-Salem, Forsyth County (2011-2012)
- Royster Building Income-Producing Tax Credit Application, Shelby, Cleveland County (2010-2011)
- Romina Theater, Horne Mercantile, Forest City Diner, Smiths Department Store, and Central Hotel Income-Producing Tax Credit Applications, Forest City, Rutherford County (2010-2011)
- Church Street School Income-Producing Tax Credit Application, Parts 1 and 2, Thomasville, Davidson County (2009)
- Peace House Income-Producing Tax Credit Application, rural Granville County (2002)

SELECTED PRESENTATIONS (CONFERENCES/ANNUAL MEETINGS/STUDY PROGRAMS)

- “New Tools for Old Designs: Researching Historic Architecture Today,” at the Traditional Building Conference Series, “Building Well: Traditional Design, Materials, and Methods,” Graylyn International Conference Center, Winston-Salem, April 2012
- “Forsyth County’s Agricultural Heritage,” keynote address at the 2011 Farm City Banquet, held by the Forsyth County Agricultural Extension Service, Winston-Salem, November 2011 and Historic Preservation Month Lecture Series, Old Salem Visitor Center, May 2012
- “From Farm to Factory: Continuity and Change in the Bethania Freedmen’s Community,” Southeastern Chapter of the Society of Architectural Historians Annual Conference, Charleston, South Carolina, October 2011
- “Winston-Salem’s Mid-Twentieth-Century Architecture,” Reynolda House Museum of American Art, October 2011
- “Forsyth County Architectural Survey Update,” numerous presentations for entities including the Winston-Salem-Forsyth County Planning Board, Historic Resources Commission, City Council, and County Commissioners; the Forsyth County Genealogical Society, the State Historic Preservation Office’s National Register Advisory Committee in Raleigh, the Winston-Salem Colonial Dames Chapter, and the Old Salem Garden Club, 2007-2011
- “From the Roaring Twenties to the Space Age: Winston-Salem, North Carolina’s Mid-Twentieth-Century Architecture,” Southeastern Chapter of the Society of Architectural Historians Annual Conference, Chattanooga, Tennessee, October 2010
- “Winston-Salem’s Mid-Twentieth-Century Architecture,” Historic Preservation Month Lecture Series, Old Salem Visitor Center, May 2010
- “Forsyth County’s Cultural Landscapes,” Historic Preservation Month Lecture Series, Old Salem Visitor Center, May 2009
- “Forsyth County’s Historic African American Resources,” Preserve Historic Forsyth Annual Meeting, March 2009
- “Set in Stone: The Work of Frank W. Murrell and Sons,” Southeastern Chapter of the Society of Architectural Historians Annual Conference, Greensboro, North Carolina, October 2008
- “From Frontier to Factory Revisited: Forsyth County’s Diverse Architectural Legacy,” opening lecture at the Preservation North Carolina Annual Conference, Winston-Salem, North Carolina, October 2008
- “Leave No Stone Unturned: An Attempt to Uncover the Work of Charleston’s African American Stonemasons,” Museum of Early Southern Decorative Arts Summer Institute, Winston-Salem, North Carolina, July 2008
- “Early North Carolina Architecture,” North Carolina Museums Council Annual Meeting, Hickory, North Carolina, March 2007
- “An Anglomaniac Mansion in Tobacco Town: Mayer, Murray and Phillip’s Dyer House of 1931,” Colonial Dames Meeting, Winston-Salem, January 2007; Historic Architecture Round Table, Raleigh, North Carolina, October 2005
- “Gastonia’s Architecture: Portrait of a New South Economy,” with Sarah W. David, Preservation North Carolina Annual Conference, Gastonia, North Carolina, October 2005
- “Aladdin Homes: Built in a Day,” Fall Institute 2004, Perspectives on American Decorative Arts, 1776-1920, Winterthur, Wilmington, Delaware
- “A Movable Beast: NCDOT’s Historic Truss Bridge Reuse and Relocation Program,” Preservation North Carolina Annual Conference, Statesville, North Carolina, 2001
- “The African American Community of Bethania,” Museum of Early Southern Decorative Arts Summer Institute, Winston-Salem, North Carolina, July 1997

SPECIALIZED TRAINING

- Museum of Early Southern Decorative Arts Summer Institute: Charleston, in Winston-Salem, NC, and Charleston, SC, July 2008
- “Green Strategies for Historic Buildings,” presented by the National Preservation Institute in Greensboro, NC, April 2008

- The Historic New England Program in New England Studies, Boston, June 2006
- “Historic Landscapes: Planning, Management, and Cultural Landscape Reports,” presented by the National Preservation Institute in Greensboro, NC, April 2005
- Winterthur Fall Institute 2004, Perspectives on American Decorative Arts, 1776-1920, Wilmington, DE
- “Disadvantaged Business Enterprises Program Improvement Training,” presented by the South Carolina Department of Transportation in Columbia, SC, March 2003
- “NEPA Environmental Cross-Cutters Course,” presented by National Environmental Protection Agency in Raleigh, NC, July 2002
- “Advanced Section 4(f) Workshop,” presented by the Federal Highways Administration in Raleigh, N.C., November 2002
- “Assessing Indirect and Cumulative Impacts of Transportation Projects in North Carolina,” presented by the Louis Berger Group, Inc. in Raleigh, N.C., December 2002
- “Introduction to Section 106,” presented by the National Advisory Council on Historic Preservation in Raleigh, N.C., April 2002
- Restoration Field School, taught by Travis McDonald at Thomas Jefferson’s Poplar Forest in Forest, Virginia, Summer 2000
- “History of North Carolina Architecture,” taught by Catherine Bishir at North Carolina State University in Raleigh, N.C., Spring 2000
- Victorian Society Summer School in Newport, Rhode Island, taught by Richard Guy Wilson, Summer 1999
- Museum of Early Southern Decorative Arts Summer Institute: The Backcountry, in Winston-Salem, N.C., Summer 1997

PROFESSIONAL MEMBERSHIPS

American Association for State and Local History
 Friends of MESDA and the Collections
 National Trust for Historic Preservation
 National Council on Public History
 North Carolina Museums Council
 Preservation North Carolina
 Southeastern Chapter of the Society of Architectural Historians
 Southern Garden History Society
 Vernacular Architecture Forum